



ENTIRE VALLEY HOME INSPECTIONS, LLC

# ENTIRE VALLEY HOME INSPECTION

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## HOME INSPECTION REPORT

1234 Main Street  
Queen Creek, AZ 85142

Buyer Name

10/02/2025 9:00AM



Inspector

**Fernando Medina**

Certified Home Inspector: Lic #: 68703, BS in

Civil Engineering, Certified Termite

Inspector: AZ Lic #: 211229

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Agent

**Agent Name**

555-555-5555

[agent@spectora.com](mailto:agent@spectora.com)

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Home Inspection Full Report by First Step Home Inspectors.

The "First Step to buying or selling your home!"

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# SUMMARY

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UNSATISFACTORY ITEM

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Home Inspection Summary Report by First Step Home Inspectors.

The "First Step to buying or selling your home!"

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- ⚠ 2.9.1 Exterior - Exterior Entry Doors: Sliding Glass Door(s) / Difficult
- ⚠ 2.17.1 Exterior - Barbecue Area: Flexible, lights
- ⚠ 5.3.1 Attic - Common Observations: Damaged attic access panel
- ⚠ 5.3.2 Attic - Common Observations: Wooden attic access
- ⚠ 6.11.1 Garage - Ventilation Ports: None / Gas Appliances
- ⚠ 9.4.1 Plumbing - Water Supply Pressure: Pressure reducer water pressure too low
- ⚠ 9.5.1 Plumbing - Waste and Vent Piping Systems: Cleanout Elevation
- ⚠ 9.6.1 Plumbing - General Gas Components: Old and worn gas meter
- ⚠ 9.7.1 Plumbing - Gas Hot Water Heater: Sediment trap
- ⚠ 9.7.2 Plumbing - Gas Hot Water Heater: Plastic drip pan
- ⚠ 9.10.1 Plumbing - Irrigation: Corroded Back-Flow Preventor
- ⚠ 11.4.1 HVAC Systems - Condensing Coils Age/Data/Comments: Debris Within Units
- ⚠ 11.8.1 HVAC Systems - Condensing Coil Disconnect: Loose On Wall
- ⚠ 11.12.1 HVAC Systems - Heating Temperature Readings: No Response
- ⚠ 11.12.2 HVAC Systems - Heating Temperature Readings: Gas Off / Unable to Test
- ⚠ 11.18.1 HVAC Systems - Gas Combustion-Air Vents: No Air Vents / Garage
- ⚠ 12.1.1 Fireplaces - Fireplace Type & General Comments: Fireplace no response
- ⚠ 12.1.2 Fireplaces - Fireplace Type & General Comments: Replace Missing Gas Key
- ⚠ 14.9.1 Home Interior / Living Areas - Outlets / Electrical: Outlets / Loose
- ⚠ 16.8.1 Master or Main Bathroom - Doors: Does Not Hold Closed

# 1: INSPECTION DETAILS

## Information

**Inspection Start Time (Approx)**  
1:30 pm

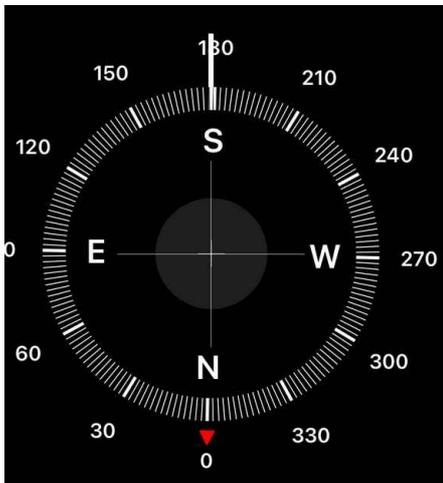
**Year Built**  
2000  
Approximate year of build for this property.

**Inspection Finish Time (Approx)**  
4:30 pm

**House / Building Faces**  
South

**2000 (Square Feet)**  
2142  
Approximate square foot size of this property.

**Type of Building**  
Single Family



**Style**  
Single Story

**Utilities**  
All Utilities Are On

**Occupancy & Furnishings**  
Furnished, Occupied

**In Attendance**  
Client(s), Buyers Agent

**Approx Temperature (Fahrenheit)** **Weather Conditions**  
105-110  
Clear & Dry

**Total Inspection Fee**  
US Dollar US Dollars  
Total home inspection fee including any fees paid for through First Step Home Inspectors. (US Dollars)

## 2: EXTERIOR

### Information

#### Exterior Lot Pictures: Front Yard Lot Pictures

Yard

Front Yard



#### Exterior Lot Pictures: Courtyard

No Courtyard

#### Driveways: Type

Concrete



#### Walkways: Type

Concrete



#### House Wall Finish/Cladding: Cladding Type

Stucco

#### Grading & Drainage: Condition

Satisfactory

#### Doorbell: Condition

Installed



#### Doorbell: Satisfactory

The doorbell is functional and works on demand.

#### Screens: Condition

Present

#### Outlets / Electrical: Outlets / Type

Three Prong

Type of outlets noted.

#### Outlets / Electrical: GFCI / Reset Locations

Garage

#### Ceiling Fans: Comment

Present



**Ceiling Fans: Patio Fans / Functional**

The patio fans that were tested are functional and respond on demand.

**Fences & Gates: Gate Type**

Metal

Gate types on the property.



**Fences & Gates: Retaining Walls**

Satisfactory

**Barbecue Area: Grill Fuel Source**

Natural Gas

## Scope of Work

You have contracted with Entire Valley Home Inspections to perform a generalist inspection in accordance with the standards of practice established by the Arizona Board of Technical registration. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which is clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most properties built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at [www.epa.gov/iaq/pubs/insidest.htm](http://www.epa.gov/iaq/pubs/insidest.htm).

**MOLD** is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread in the air then land and feed on organic matter. It has been in existence throughout human history and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxins that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture, and Your Home," by visiting their website at: <http://www.epa.gov/iaq/molds/moldguide.html/>, from which it can be downloaded.

**ASBESTOS** is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer and is, therefore, a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

**POPCORN CEILING** - In early formulations, it often contained white asbestos fibers. When asbestos was banned in ceiling treatments by the Clean Air Act of 1978 in the United States,<sup>[1]</sup> popcorn ceilings fell out of favor in much of the country. However, in order to minimize economic hardship to suppliers and installers, existing inventories of asbestos-

bearing texturing materials were exempt from the ban, so it is possible to find asbestos in popcorn ceilings that were applied through the 1980s. According to the EPA, the use of asbestos in textured ceiling paint was banned in 1977. Inhaled in large quantities, asbestos fibers can cause lung disease, scarring of the lungs and lung cancer. However, not all popcorn ceilings contain asbestos. Moreover, if left undisturbed or contained, asbestos is not dangerous.

**RADON** is a gas that results from the natural decay of radioactive materials in the soil and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their effects on health, by contacting the Environmental Protection Agency (EPA), at [www.epa.gov/radon/images/hmbuygud.pdf](http://www.epa.gov/radon/images/hmbuygud.pdf), and it would be prudent for you to inquire about any high radon readings that might be prevalent in the general area surrounding your home.

**LEAD** poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it is not an immediate health threat, but as a component of potable water pipes, it is a definite health hazard. Although rarely found in modern use, the lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent within the contingency period.

**CRACKS AND WINDOWS** - Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Many environmental factors come into play when and if hermetic seals have failed and Unfortunately, it is not always apparent, which is why we disclaim an evaluation of hermetic seals or unnoticed fogging glass. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

The Americans with Disabilities Act (ADA) stands as a cornerstone of civil rights legislation, safeguarding the rights and liberties of individuals with disabilities. As home inspectors we are not educated or required to know the laws or requirements for these special needs. I highly recommend evaluating these needs yourself or having a qualified professional evaluate these home requirements as you feel necessary.

**FURTHERMORE**, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals roofers etc.

All conditions are reported as they existed at the time of the inspection. The information contained in this report may be unreliable beyond the date of the inspection, due to changing conditions.

### State of Arizona Home Inspector Standards of Professional Practice

Here is a clickable link for you to review the State of Arizona Home Inspector Standards of Professional Practice and the newer updated version as of May 25th, 2024. It outlines what home inspectors **are** required to view/evaluate and what we **are not** required to view/evaluate. Please reach out anytime with questions. We are happy to answer them for you.

[Home Inspector Professional Standards](#)

## General Information

This report is the exclusive property of Entire Valley Home Inspections and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

The observations and opinions expressed in this report are those of First Step Home Inspectors and supersede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards set forth and regulated by the Arizona Board of Technical Registratiion. Items we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations made in this report should be completed by qualified specialists or contractors, well before you take possession of this property and within any specified contingency or inspection period. Qualified contractors may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein. All printed comments and the opinions expressed herein are those of First Step Home Inspectors.

## General Site Comments: General Property Comments

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

## General Site Comments: Fire Pit

Fire pits, whether gas or wood fueled are outside the scope of inspection. Consult a licensed professional for further evaluation.



## Exterior Lot Pictures: Backyard Lot Pictures

Yard

Backyard, Side Yard



**Landscaping: Not Evaluated**

We do not fully evaluate landscaping, but some of the trees, plants, bushes or shrubs may need to be trimmed or pruned. Regular maintenance and watering of them is recommended and assumed as part of healthy and normal yard landscaping.

**House Wall Finish/Cladding: Typical Cracking Noted**

There are typical shrinkage or settlement type cracks observed in the stucco or block, which you should view for yourself. All cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. Most people do not realize that structures move, but they do and sometimes more or less continuously. Therefore, stress, settlement or shrinkage type fractures can reappear after they have been repaired, and particularly if they have not been repaired correctly. I recommend that all exterior cracks and gaps, if present, are properly covered or sealed to help prevent possible moisture or pest intrusion. However, you may wish to have this confirmed by an appropriate specialist. Most stucco homes are recommended to be repainted about every 10 years or so.

**Grading & Drainage: Grading Comments**

Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that can have an adverse affect on health.

### Grading & Drainage: Moisture & Related Issues

Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection as soon as possible.

### Grading & Drainage: Interior-Exterior Elevations

There is an acceptable difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space, but of course I cannot guarantee that.

### Grading & Drainage: Flat & Level Pad

The residence is situated on a flat level pad, which would typically not need a geological evaluation. However, because we do not have the authority of a geologist you may wish to have a site evaluation, as you feel necessary.

### Grading & Drainage: Drainage Swales Clear

The drainage swales are clear and clean and should be kept clean for the general maintenance of the property.

### Exterior Entry Doors: Door Locks / Satisfactory

The residence door locks were verified as satisfactory or functional. They work as intended, unless otherwise noted .

### Exterior Entry Doors: Front Door(s) / Type & Condition

Steel Panel With Dual Pane Glass

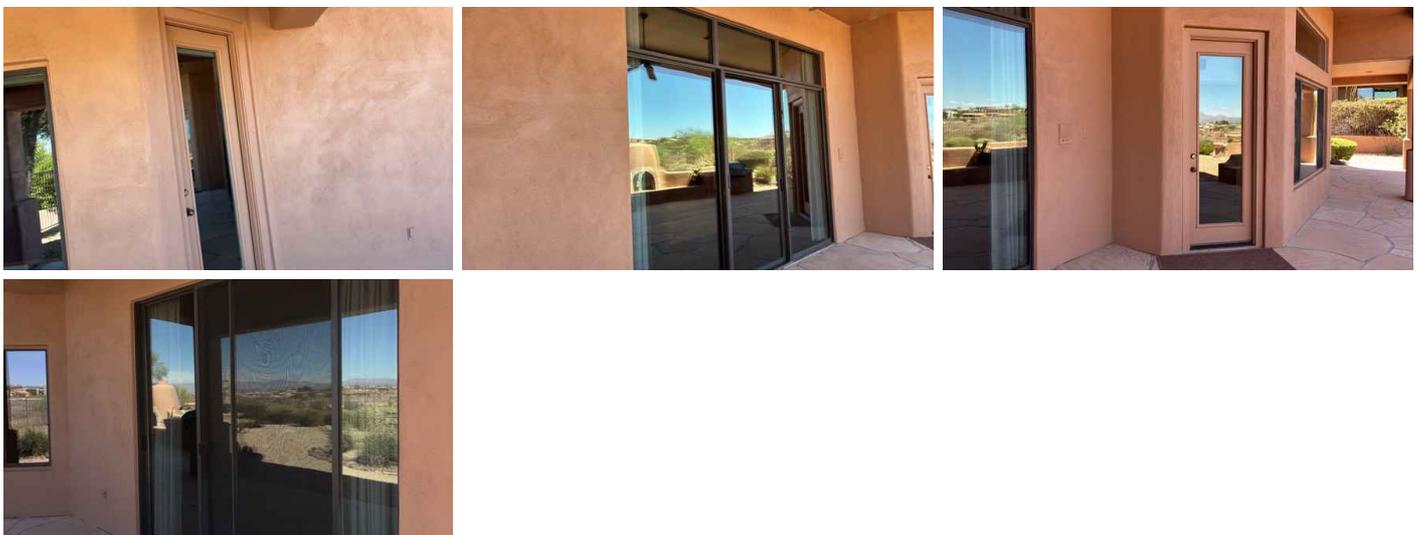
The front entrance door(s) are solid, security type doors. Also noted adequate weather stripping, thresholds, door sweeps and deadbolts. They function properly and are in acceptable condition, unless otherwise noted.



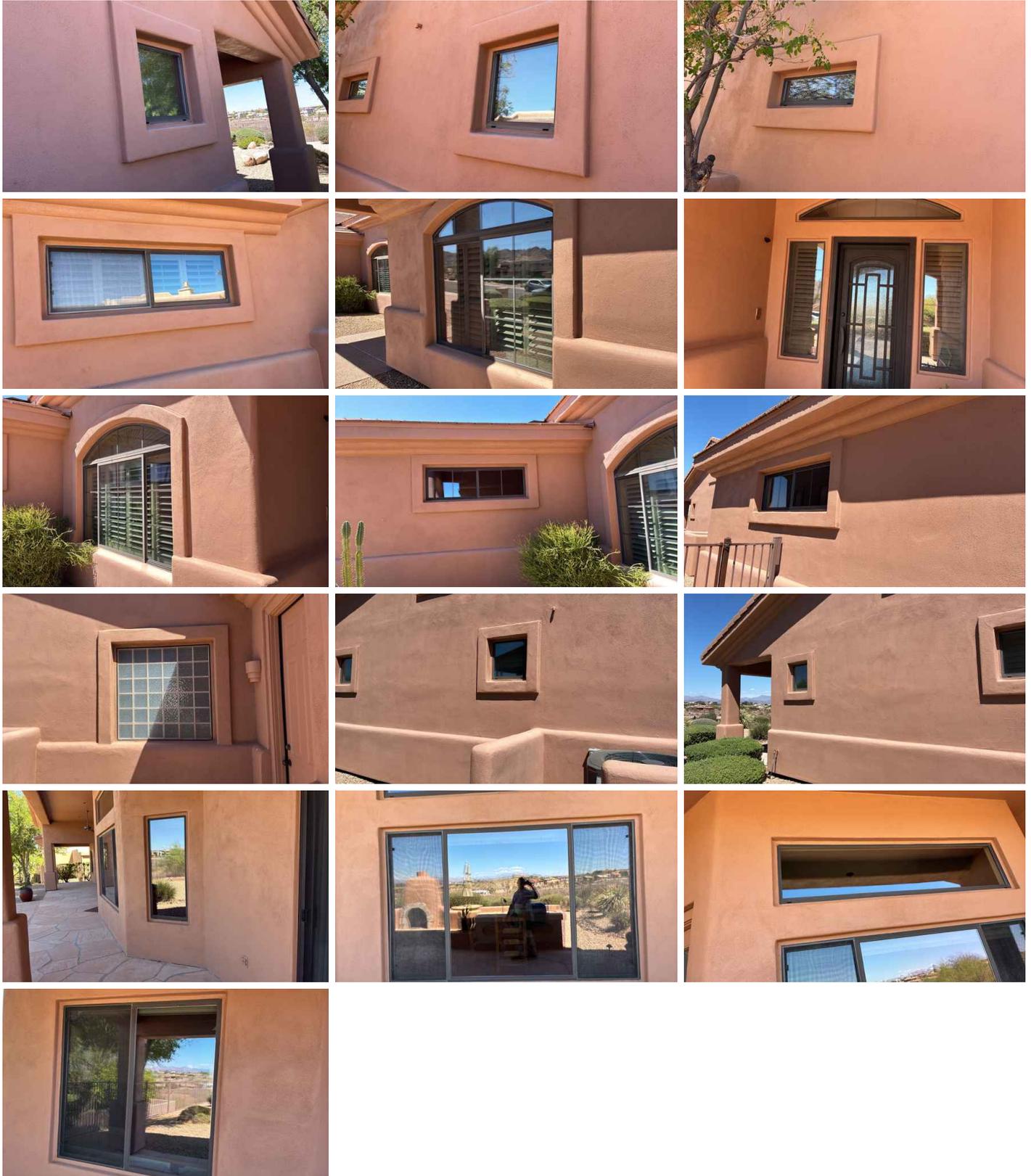
### Exterior Entry Doors: Rear Door(s) / Type & Condition

Hollow core metal with dual pane glass, Wood With Dual Pane Glass

The rear entrance door(s) are solid, security type doors. Also noted adequate weather stripping, thresholds, door sweeps and deadbolts. They function properly and are in acceptable condition, unless otherwise noted.



**Exterior Windows: Type**  
Double or Dual Pane



## Exterior Windows: General Comments

### Exterior Windows

The house or residence windows are in satisfactory condition from the exterior and from within the interior living areas, unless otherwise noted. This includes areas such as but is not limited to: bedrooms, bathrooms, living areas, kitchen, garage, guest quarters, hallways etc. In accordance with industry standards, I am not required to test every window in the house and particularly if the house is furnished. However, I do make a realistic attempt to do so in the best interest of my clients. Sometimes window location, window screens, furniture and other factors restrict window accessibility. I do test every unobstructed and accessible window in the living areas and in every bedroom or sleeping quarters to ensure at least one facilitates and emergency exit. Common window problems can include, but are not limited to: cracked or damaged glass, windows that do not operate as intended and broken hermetic seals. Any windows with broken hermetic seals can be very difficult to locate if the atmospheric conditions are not just right. The height of an emergency escape and rescue window opening should not be more than 44" inches above the floor and accessible by approximately 5.7 square feet of space or 20" x 24". If you desire more information about the windows in this property, I recommend asking the seller and/or consulting a qualified window professional.

NOTE: Provision 11.2 B of the Standards of Professional Practice for Arizona Home Inspectors does not apply to the area between panes of glass in multi-pane glazing assemblies as it relates to the presence or absence of moisture or condensation.

Exhaustive evaluation of the interior of multi-pane window assemblies is determined to be cosmetic and outside of the scope of a home inspection. Detection of problems related to the hermetic seal, interior coatings and gases that may or may not be present requires specific expertise. Additionally, the ability to determine the condition of the hermetic seal, interior coatings, and gases present within is highly dependent on climactic conditions, cleanliness of glazing, window screen and window covering obstructions.

Any comments we make regarding the integrity of the window seals in multi-pane windows is being made only as a courtesy to our clients based on the windows at the time of the inspection.

## Exterior Windows: Tested / Functional

In accordance with industry standards, we are required to test a representative sample of windows. The windows tested were functional and worked properly, unless otherwise noted or specifically stated. However, we do test every unobstructed and accessible window in every living area and bedroom to determine if at least one facilitates an emergency exit or egress.

## Exterior Windows: Seal Around Exterior Windows

I recommend monitoring the areas around your exterior windows and sealing as needed to help prevent possible moisture intrusion issues. Over time, small cracks and exposed areas will occur. For example, stucco can shrink and pull away from windows as it dries. Further evaluation is recommended from a qualified contractor for more detailed information and service is determined necessary.

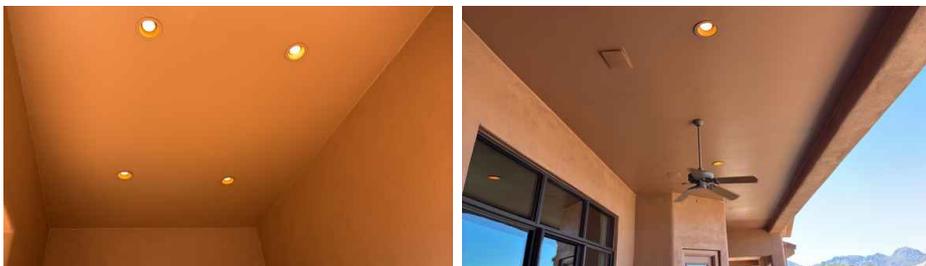
## Screens: Some Missing

Some of the window screens are missing. Screens are often removed for aesthetic reason, but you may want to have them installed. I recommend asking the seller for more details or if they have them in storage.

## Lights: Exterior Lights

### Exterior

#### Ceiling Lights, Wall Lights



## Lights: Exterior Lights / Satisfactory

### Exterior

The exterior lights outside the doors of the residence and on the property were functional when tested. Any sensor or light sensitive fixture lights were not tested. All lights may not have been located and/or tested. Any service items needed will be noted.

**Fences & Gates: Fence Type**

Concrete Block, Metal

Type of yard fencing in place on the property.



**Porch / Patio Floor & Covers: Porch/Patio Cover(s) / Type**

Front Patio Cover, Rear Patio Cover



**Porch / Patio Floor & Covers: Patio Floors Satisfactory**

The patio floor areas are in satisfactory condition, unless otherwise specifically noted.

**Porch / Patio Floor & Covers: Patio Covers / Satisfactory**

The exterior patio covers are in satisfactory condition, unless otherwise specifically noted.

## Barbecue Area: Barbecue And Grill / General Comment

Barbecue grills and their related components are not considered to be part of this home inspection and were not tested. You should check these items at their own discretion and we encourage you to inspect these yourself if you are concerned. I recommend asking the seller for more detailed information or demonstration as you feel necessary.



## Limitations

Exterior Entry Doors

### KEYED DEADBOLT / RECOMMEND REPLACEMENT

The door(s) have a keyed deadbolt that could prevent or impede an emergency exit. This deadbolt should be replaced with a safer latch type.



Lights

### PHOTO SENSOR LIGHTS / NOT TESTED

Any photocell sensor lights were not tested. You should ask the sellers to have these lights demonstrated as you feel necessary.

Lights

### SOLAR YARD LIGHTS / NOT TESTED

Any solar yard lights were not tested as part of this inspection service.

## Observations

2.9.1 Exterior Entry Doors

### SLIDING GLASS DOOR(S) / DIFFICULT

 Unsatisfactory Item

The backyard sliding glass door is difficult to operate and does not open smoothly or easily. I recommend further evaluation from a qualified contractor for service as determined necessary.

Recommendation

Contact a qualified professional.



Northwest

2.17.1 Barbecue Area

**FLEXIBLE, LIGHTS**

 Unsatisfactory Item

Repair the inoperable flexible spot lights on top of the barbecue countertop. Consult a licensed electrician for further evaluation and repair. Secure lights in place.



## 3: FOUNDATION AND STRUCTURE

### Information

---

#### Foundation: Foundation Material/Type

Concrete Slab-On-Grade

#### Floor Structure: Main or Ground Floor Identification / Type

Poured Concrete Slab

#### Floor Structure: Upper Floor Floor Identification / Type

None/Does Not Apply

Upper residence floors likely contain this material.

#### Wall Structure: Identification / Type

The walls are conventionally framed with wooden studs

#### Columns / Supports: Columns and Supports / Type

Stucco & Wood

#### Ceiling Structure: Identification / Type

Prefabricated truss system

#### Roof Structure: Identification / Type

Prefabricated truss system

#### Various Hard Surfaces: Comment

The visible portions of the hard surfaces are in acceptable condition, unless otherwise specifically noted.

#### Various Hard Surfaces: Common Settlement Cracking Noted

There are common settling, or curing, cracks in the hard surfaces. This is somewhat predictable, and is typically not regarded as being structurally significant, but I am not a specialist and you may wish to have this confirmed by one.

#### Foundation: General Comments

This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable. Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

#### Foundation: Condition

The visible foundation areas show only the normal signs of weathering and/or cracking at the time of the inspection. These are considered satisfactory conditions at the time of the inspection. No significant damage was noted at this time, unless otherwise specifically noted.

#### Foundation: Method of Evaluation

The slab foundation was evaluated on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

**Foundation: Bolted Slab / Acceptable**

The residence appears to have a bolted slab foundation with no visible or significant abnormalities.

**Wall Structure: Satisfactory Condition**

The wall structure of this residence is in satisfactory condition, unless otherwise noted.

**Columns / Supports: Column Condition**

The property columns and/or supports were noted to be in satisfactory condition at the time of the inspection. Unless otherwise specified.

**Ceiling Structure: Satisfactory Condition**

The ceiling structure appears to be in satisfactory condition, unless otherwise noted.

**Roof Structure: Satisfactory Condition**

The roof structure appears to be in satisfactory condition, unless otherwise noted.

## 4: ROOF

### Information

#### Method of Evaluation: Method Used

Walking on its surface  
The residence roof and its components were evaluated in this manner.

#### General Observations: Roof Status

Roof Was Accessible During the Inspection

#### Roof Age (approximate): Roof / Same Age As Residence

The roof appears to be the same age as the residence.

#### Flashings & Penetrations: Type

Metal, Satisfactory  
Type of roof flashings noted during the inspection.

#### Flashings & Penetrations: Storm Collars Present on Heat Vents

Satisfactory  
Presence of storm collars on roof heat vents.

#### Drainage & Gutters: Gutter Type

None Noted  
Type of gutters on this property.

#### General Observations: Underlayment Comment

Felt underlayment lasts approximately 15 to 30 years. If the home is more than 15 years old, or if there was any exposed underlayment, I recommend to consult a qualified roofing contractor for more detailed information and to determine if service is necessary. I do not lift or move any roof tiles or shingles to view the underlayment.

#### General Observations: No Guarantee Against Leaks

This home inspection is not a guarantee against present or future leaks. For a roof guarantee, you would need to have a roofing company perform a Performance Test and issue a roof certification. Further evaluation from a qualified roofer is recommended.

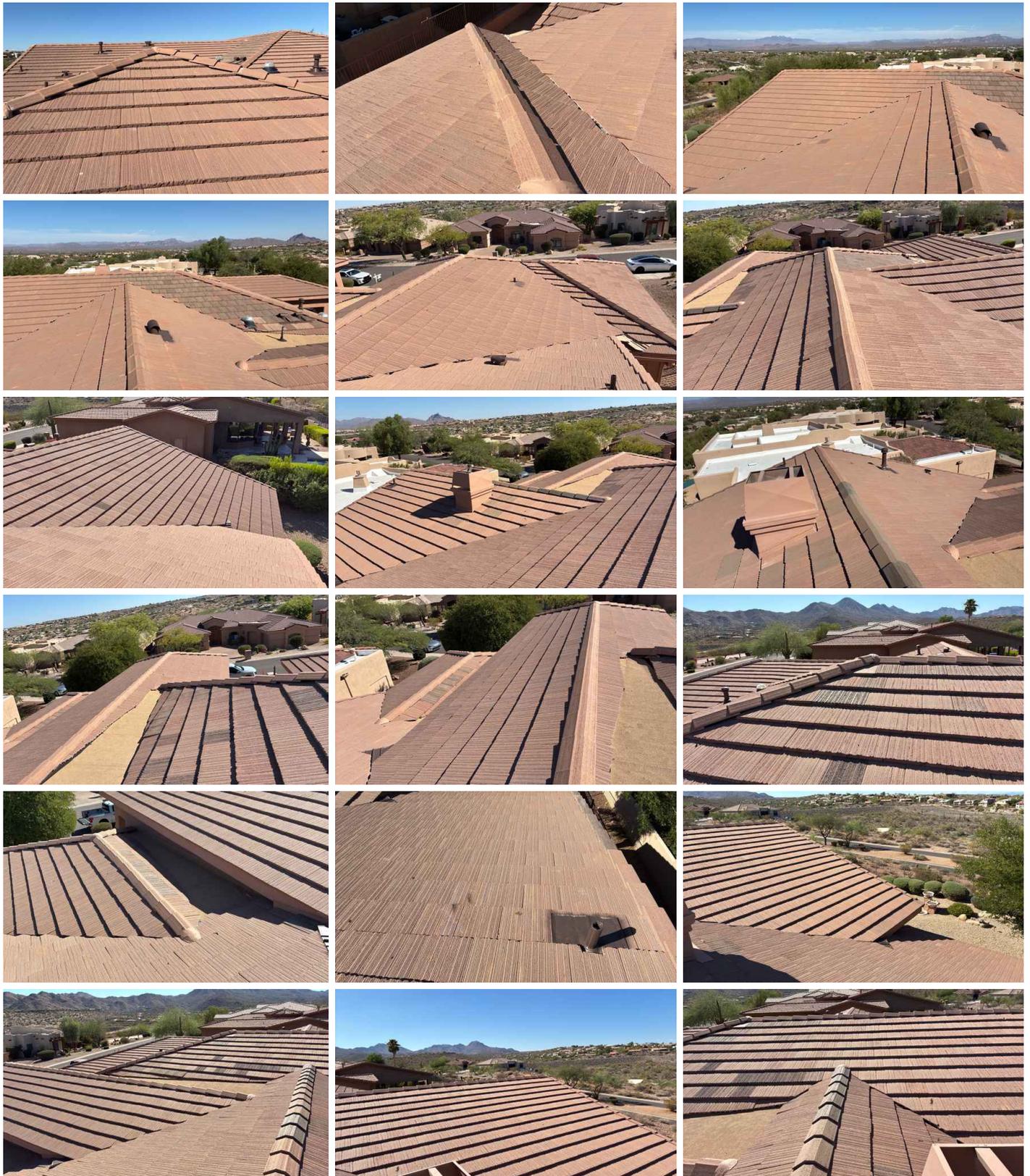
#### Roof Age (approximate): Estimated Roof Age

20 years +

Estimated roof age only. Please ask the seller for more detailed information or contact a qualified roofing contractor for evaluation.

**Roof Pictures: Location**

Main Roof Covering



**Flashings & Penetrations: Satisfactory**

The roof flashings are in acceptable condition where viewed, unless otherwise specifically noted. They appear to consist of metal flashing around roof penetrations and in valleys.

**Flashings & Penetrations: Kick-Out Flashings / Satisfactory**

The kick-out flashings appear to be in acceptable condition, unless otherwise noted.

**Drainage & Gutters: Roof Drainage / Satisfactory**

Roof drainage on this residence appears to be satisfactory, unless otherwise noted.

**Drainage & Gutters: No Gutters Noted**

There are not any gutters installed on this property. Adding gutters would be an upgrade to help direct water away from the foundation.

**Skylights: Visible & Accessible**

Roof

Yes - Skylights are Visible and Accessible

Were the roof skylights visible and easily accessible for evaluation on the roof.

**Skylights: Satisfactory Condition**

Roof

The roof includes skylight(s) that appear to be in satisfactory condition, unless otherwise noted. Skylights can be problematic and a common point of leaks. Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.

## 5: ATTIC

### Information

#### Attic Entry: Location

Garage, Guest Bedroom Closet,  
Master Bedroom Closet

#### Method of Evaluation: As Noted

Attic was Accessible

#### Common Observations: As Noted

Attic

No Storage

#### Roof Decking/Sheathing: Attic Decking / Sheathing Type

Attic

OSB - Oriented Strand Board

Type of visible wood roof decking.

#### Insulation: Type

Fiberglass, Blown Loose

Fiberglass, Fiberglass Batts

Type of attic insulation noted at the time of inspection.

#### Insulation: Installed Location

Attic Floor, Attic Vaulted Walls

The attic insulation is installed at the noted location(s).

#### Insulation: Insulation Depth

10-12 Inches

Insulation depth noted during the inspection.

#### Ventilation: Type Noted

Gable Vents, Roof Vents

The installed attic ventilation type is noted here.

#### Vapor Barrier: Vapor Barrier

As Noted

Not Visible

Comments regarding the vapor barrier or vapor retarder.

#### Electrical: Outlets & Lights

Attic

Attic Lights

#### Electrical: Attic Lights / Satisfactory

The attic lights work on demand at the attic switch.

#### Heat Vents: As Viewed

Visible

#### Plumbing Vents: As Viewed

Visible

#### Exhaust Ducts: As Viewed

Visible

#### Attic Entry: General Comments

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well and often does obscure water pipes, electrical conduits, junction boxes, exhaust fans, heating and cooling ducts and other components.

#### Method of Evaluation: Limited Access / Framing Etc Restricts View

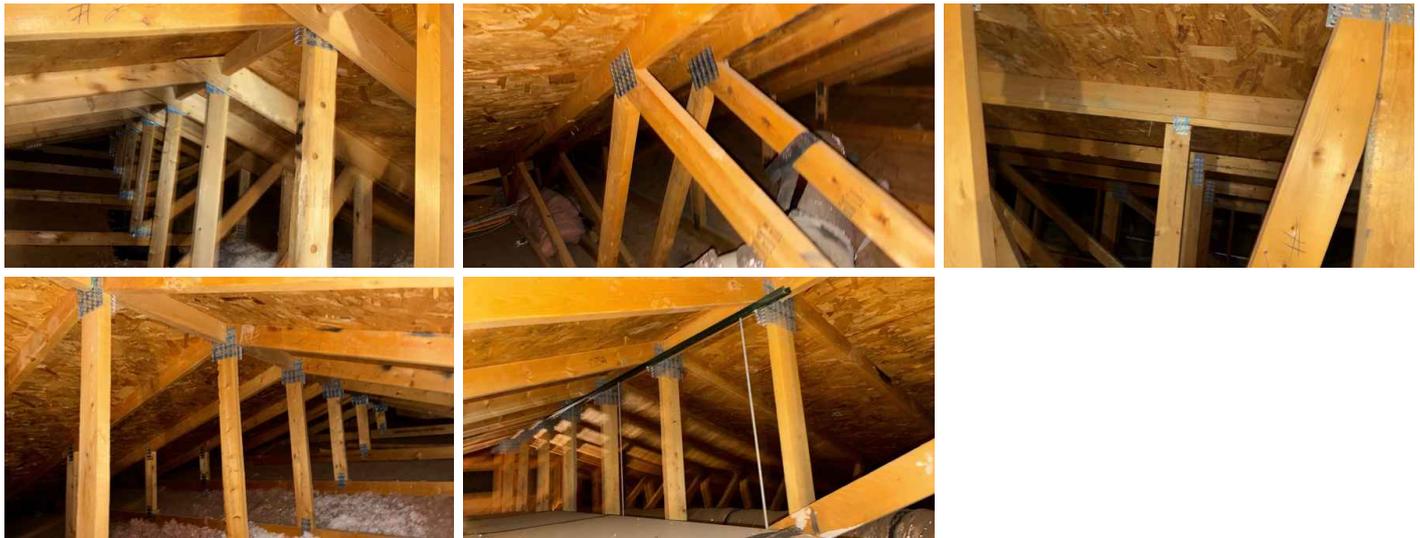
Insulation, HVAC ductwork/components and framing position within the attic obscures some of the framework and other items. Therefore, the attic inspection and its related components within is limited to what is visible.

#### Common Observations: Attic Accessibility Limitation

The evaluation of the attic areas at this residence is limited to visible and readily or easily accessible locations only.

**Framing: Type**

Wood



**Framing: Factory Wood Truss / Satisfactory**

The visible wood roof framing is in satisfactory condition. The roof framing consists of a factory- built wood truss system, comprised of components called chords, webs, and struts that are connected by metal gussets nailed in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

**Framing: Wood Truss / Satisfactory**

The visible wood roof framing is in satisfactory condition. The roof framing consists of a wood truss type system, comprised of components called chords, webs, and struts that are connected by metal gussets nailed in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

**Roof Decking/Sheathing: Decking / Sheathing Pictures**



**Roof Decking/Sheathing: Satisfactory**

The visible portions of the wood roof decking are in acceptable condition, unless otherwise specifically noted, and should conform to the standards of the year in which they were installed.

## Insulation: Insulation Pictures



## Ventilation: Satisfactory

The residence attic ventilation appears satisfactory. Contacting a qualified insulation contractor about having your attic ventilation upgraded could help lower energy costs by cooling down your attic during the warmer summer months.

## Vapor Barrier: Not Visible

As Noted

The vapor barrier or vapor retarder (building paper) is covered and was not visible during the home inspection. This limits our evaluation of it.

## Water Pipes: Visible Attic Water Supply Pipes

Attic

Fire Sprinkler, Copper, Pex pipes

Visible type of water supply plumbing visible in the attic during the inspection.

## Water Pipes: Attic Water Pipes / Satisfactory

The visible portions of the attic water pipes are in acceptable condition, unless noted otherwise. They should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.

## Water Pipes: Fire Sprinkler Pipes / Satisfactory

The visible attic fire sprinkler pipes appear to be in good condition during the inspection. No obvious signs of leaking were noted. They were not tested as part of this inspection service.

## Heat Vents: Satisfactory

The visible heat vents that pass through the attic are functional and appear satisfactory, unless otherwise specifically noted.

## Plumbing Vents: Drainpipe Vents / Satisfactory

The visible plumbing drainpipe vents appear to be in satisfactory condition, unless otherwise specifically noted.

## Exhaust Ducts: Satisfactory

The visible portions of the exhaust ducts appear to be functional, unless otherwise noted.

## Observations

### 5.3.1 Common Observations

#### **DAMAGED ATTIC ACCESS PANEL**



Unsatisfactory Item

Repair or replace the damaged attic access panel in order to prevent possible migration of smoke or fire into the attic area in the event of fire.

Recommendation

Contact a qualified professional.



Garage

5.3.2 Common Observations

**WOODEN ATTIC ACCESS**

Replace wooden attic access with a minimum of 5/8 inch drywall in order to protect against possible fire and prevent immigration of fire or smoke into the master bathroom closet attic area.

Recommendation

Contact a qualified professional.

 Unsatisfactory Item



Master bathroom closet

# 6: GARAGE

## Information

**Parking Space: Size of Garage**  
Three Car

**Slab Floor: Type**  
Concrete/Sealed or Coated

**Walls and Ceiling: Type**  
Drywall

**House Entry Door: Type**  
Wood

**Garage Side Door: Type**  
Hollow Core

**Garage Doors & Hardware: Hinges**  
Garage  
Satisfactory  
The garage door(s) hinges are in this condition.

**Garage Doors & Hardware: Rails**  
Garage  
Satisfactory  
The garage rails appear to be in this condition.

**Garage Doors & Hardware: Rollers**  
Garage  
Satisfactory  
The garage rollers appear to be in this condition.

**Garage Doors & Hardware: Seals**  
Garage  
Satisfactory  
The garage door seals are in this condition.

**Automatic Openers: Satisfactory**  
The automatic garage door opener(s) were functional during the inspection.

**Automatic Openers: Number of Openers**  
Two  
Number of automatic garage door openers present during the inspection.

**Automatic Openers: Emergency Pull Cord & Handle Status**  
Satisfactory / In Place

**Automatic Openers: Safety Features**  
The garage door opener will reverse when obstructed at the safety lights and when met with reasonable resistance

**Ventilation Ports: Vents Noted**  
None Noted

**Outlets / Electrical: Outlets / Type**  
Three Prong  
Type of outlets noted.

**Outlets / Electrical: GFCI / Reset Location**  
Garage  
Location of GFCI reset.

**Lights / Wall Switches: Type / Lights**  
Ceiling Lights  
Type of lighting installed.

**Lights / Wall Switches: Lights Satisfactory**  
The lights are in satisfactory condition, unless otherwise noted.



**Picture Of Garage / Size: View**

Three Car Garage

The garage and its components were evaluated.

**Parking Space: Satisfactory**

The parking space within the garage appears to be an adequate and typical size. However, I recommend you should check to be sure this garage size fits your vehicles and needs before you take possession of the property.

**Walls and Ceiling: Satisfactory**

The visible garage walls and ceilings are in acceptable condition, unless otherwise noted.

**House Entry Door: Satisfactory**

The garage to house entry door is a solid core door, or fire-rated type that self-closes in conformance with fire-safety regulations.

**Garage Side Door: Satisfactory**

The garage side door is a solid, security type door. Also noted adequate weather stripping, thresholds, door sweeps and deadbolts. It functions properly and is in acceptable condition, unless otherwise noted.

**Garage Doors & Hardware: Type of Door**

Garage

Sectional

Type of garage door(s).

**Garage Doors & Hardware: Vehicle Door(s)**

Garage

Satisfactory

The garage vehicle entry door(s) are in this condition at the time of the inspection. Unless noted otherwise.

**Garage Doors & Hardware: Vehicle Door is Insulated**

The interior side of the garage vehicle door is insulated. However, I'm unable to fully view interior side of this door.

**Garage Doors & Hardware: Springs**

Garage

Satisfactory

The garage door spring(s) are in this condition.

**Automatic Openers: Picture****Cabinets/Drawers/Shelves: Type Noted**

Garage

Cabinets

Type of cabinets, drawers, shelves etc as noted.

**Cabinets/Drawers/Shelves: Satisfactory Comment**

The installed and accessible cabinets, drawers, shelves and countertop etc are in satisfactory condition; as applicable.

**Windows: Type**

Garage

Dual Pane

**Firewall Separation: Firewall Status**

Installed

The firewall rating of the garage drywall appears to be satisfactory, unless otherwise noted. The firewall rating stamp is often not visible.

## Firewall Separation: Satisfactory

The entire garage firewall separating the garage from the residence appears functional and in good condition, unless otherwise noted.

## Observations

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### 6.11.1 Ventilation Ports



## **NONE / GAS APPLIANCES**

### GARAGE

There are not any visible exterior fresh air ventilation ports in the garage, commonly located on an upper and lower exterior wall, and a combustion appliance is present (a gas water heater). Gas appliances are capable of producing carbon monoxide under certain conditions and adequate ventilation is recommended to be added to help prevent this. However, this property may have been built without them as they may not have been required at the time. I recommend further evaluation from a qualified contractor for service as determined necessary.

### Recommendation

Contact a qualified professional.

# 7: KITCHEN

## Information

### Picture of Kitchen: View



**Refrigerator: Water Dispenser**  
Works on Demand

**Refrigerator: Ice Maker**  
Works on Demand

### Dishwasher\*: Picture



**Dishwasher\*: Number of Units**  
One

**Dishwasher\*: Visible Condition of Dishwasher Interior**

Dishwasher Spray Arms/Satisfactory

Visible condition of the dishwasher interior during the inspection.

### Garbage Disposal\*: Picture



**Garbage Disposal\*: Number of Units**  
One

**Built in Microwave\*: Number of Units**  
One

### Built in Microwave\*: Microwave Interior & Glass

Satisfactory

Condition of microwave interior and glass.

### Cooktop/Range/Oven(s)\*: Picture Cooktop/Range/Oven(s)\*: Cooktop Type



Gas

**Cooktop/Range/Oven(s)\*:**

**Number of Ovens**

One



**Cooktop/Range/Oven(s)\*: Oven**

**Type**

Electric

**Cooktop/Range/Oven(s)\*: Gas**

**Supply Line**

Kitchen

Visible

**Exhaust Fan or Downdraft:**

**Picture**

**Exhaust Fan or Downdraft: Type**

Downdraft to Exterior, Exhaust

Hood to Exterior

Type of exhaust system.

**Sink and Faucet: Number of Sinks**

One



**Sink and Faucet: Picture / Water Flow**

Picture of the functional water flow at the kitchen sink.

**Trap and Drain: Sink Drain Condition**

Satisfactory

**Trap and Drain: P-Trap Installed**

Satisfactory

Condition of the plumbing drain p-trap.



**Valves and Connectors: Type**

Ball Valve

Type of valve(s) visible.

**Valves and Connectors: Refrigerator Water Line**

Visible

**Cabinets & Pantry: Condition**

Works on Demand

**Walls and Ceiling: Type**

Drywall

**Flooring: Type**

Tile

**Flooring: Satisfactory**

The kitchen floor is in satisfactory condition.

**Lights / Wall Switches: Lights / Type**

Ceiling Lights

Type of lights noted.

**Outlets / Electrical: GFI Outlet Reset Location**

Kitchen

**Picture of Kitchen: Kitchen / Remodel**

The kitchen appears to have been previously remodeled, and you should obtain documentation for your records, which should confirm the work was done by professionals. This is important because our inspection does not approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

**Refrigerator: Picture****Refrigerator: Ice Maker / Functional**

The refrigerator ice maker was functional when tested during the inspection. Ice is visible in the freezer.

**Dishwasher\*: High Loop or Air Gap (Anti Siphon Device)**

High-Loop Noted in Discharge Drain Line

Presence of the dishwasher drain line high loop or air gap. An anti-siphon device prevents the wastewater from the dishwasher from being siphoned back into the dishwasher and contaminating its contents.

**Garbage Disposal\*: Satisfactory / One**

The garbage disposal was functional during the inspection. No leaking noted, unless otherwise indicated.

**Built in Microwave\*: Picture****Cooktop/Range/Oven(s)\*: Anti-Tip Bracket**

Does Not Apply/No Free Standing Range

Presence of an anti-tip device during this inspections.

NOTE: Since 1991 ovens are shipped with this anti-tip device and are required by the manufacturer. It is primarily for child safety, and secures a free-standing range to the back wall or floor to avoid the possibility that a youngster sitting or standing on an open oven door will cause it to tip over and crush or scald them. But, anyone can be injured while using an unsecured range for support while cleaning. If a small child stands on an open range door in order to see what is cooking on the stove-top, it can accidentally cause the entire unit to fall on top of the child, along with whatever hot items may have been cooking on the stove-top. We recommend you should review this item and installing the proper device for your oven as a safety upgrade as needed.

**Cooktop/Range/Oven(s)\*: Gas Supply Line / Satisfactory**

The gas supply line to the gas cooktop appears to be in satisfactory condition.

**Trap and Drain: Satisfactory**

The kitchen sink traps and drains are functional. No leaking was seen during the inspection, unless otherwise noted.

**Valves and Connectors: Valves / Satisfactory**

The kitchen valves and connectors below the sink appear functional. Valves were not tested, however no leaking was noted at the time of inspection. Valves are not in daily use and will inevitably become stiff or frozen/stuck and need service or replacement.

**RO System/Filtration System: Reverse Osmosis Condition**

Satisfactory/Connected For Use

Reverse Osmosis systems are not fully evaluated as part of this inspection process. They are only viewed as functional or responsive by us. I recommend having them further evaluated as you feel necessary.

**RO System/Filtration System: Faucet / Functional**

The reverse osmosis or filter water supply faucet at the sink was activated and water came out. This is a very limited courtesy check and not a full inspection of the reverse osmosis system which is beyond the scope of this home inspection. I recommended you should consult with a specialist on maintenance and water quality as these systems can fail at any time. Especially when they are not being used.

**Cabinets & Pantry: Cabinets / Satisfactory**

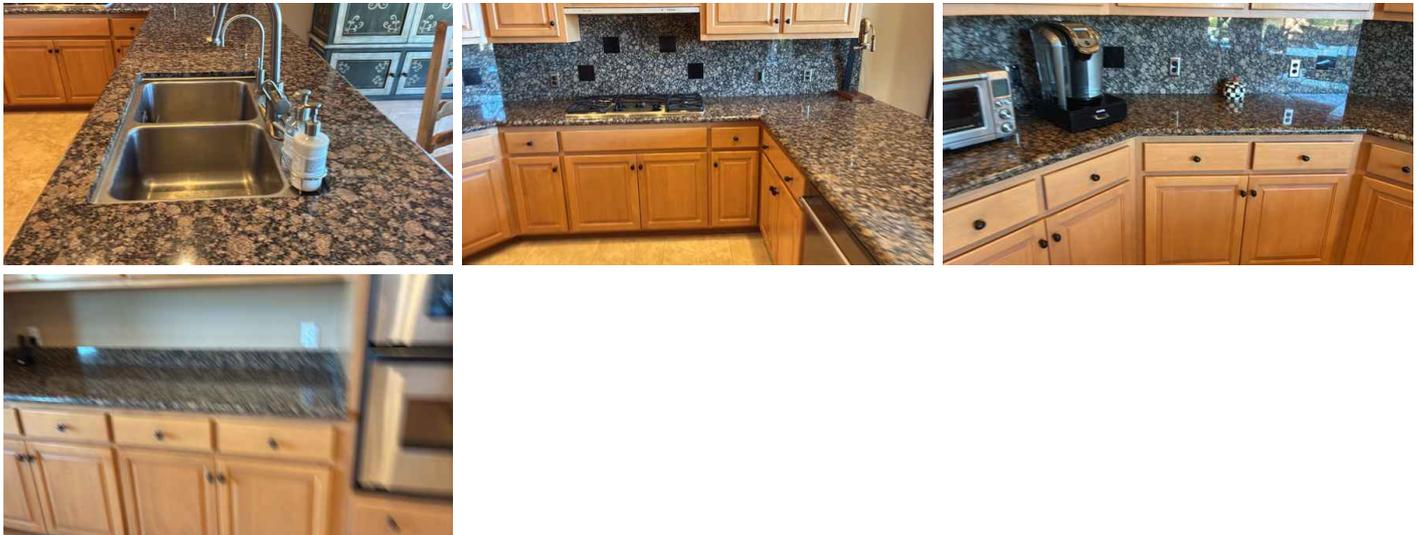
Kitchen

The kitchen cabinets and drawers are satisfactory and functional, unless otherwise noted.

**Countertop: Type**

Granite/Quartz/Marble

Type of kitchen countertop.

**Countertop: Satisfactory**

The visible areas of the kitchen countertop(s) are in satisfactory condition.

**Walls and Ceiling: Satisfactory**

The kitchen walls and ceiling are textured drywall and in acceptable condition, unless noted otherwise.

**Lights / Wall Switches: Wall Switches**

The kitchen wall switches are satisfactory and work on demand, unless noted otherwise.

**Lights / Wall Switches: Lights / Satisfactory**

The lighting in the kitchen area is satisfactory, unless specifically noted otherwise.

**Outlets / Electrical: Outlets / GFCI Protection Noted**

The kitchen has modern three prong, GFCI protected outlets that were functional during the home inspection.

# 8: LAUNDRY

## Information

**Washing Machine & Dryer:  
Appliances Onsite**

Washing Machine, Dryer



**Washing Machine Valves & Connectors: Type & Picture of Washing Machine Valves**

Laundry Area

Ball Valves

Type of washing machine water supply valves.



**Sink Faucet Drain/Trap & Valves:  
Sink Drain & Trap**

Satisfactory

**Flooring: Type**

Tile

**Lights / Wall Switches: Type / Lights**

Ceiling Lights

Type of lighting installed.

**Washing Machine Drain & Trap:  
Washing Machine Drain Line**

Not Visible, Visible



**Sink Faucet Drain/Trap & Valves:  
Water Flow Pictures**

Works on Demand, Needs Service



**Sink Faucet Drain/Trap & Valves:  
P-Trap Installed**

Satisfactory

Condition of the plumbing drain p-trap.

**Walls and Ceiling: Type**

Drywall

**Lights / Wall Switches: Lights / Satisfactory**

The lights are in satisfactory condition, unless otherwise noted.

**Washing Machine Drain & Trap:  
Floor Drain / Pan**

Not needed

**Sink Faucet Drain/Trap & Valves:  
Sink Faucet**

Satisfactory

**Doors: Condition**

Works on Demand

**Lights / Wall Switches: Wall Switches / Functional**

The wall switches are functional and respond on demand.

**Outlets / Electrical: No GFI Noted**

The laundry room outlets are not ground fault protected.

**Outlets / Electrical: GFI Outlet Resets In**

No GFI Protection Noted  
GFCI reset location.

**220 Volt Receptacle: Condition**  
In Use**Exhaust Fan: Condition**  
Works on Demand**Exhaust Fan: Functional**

The laundry exhaust fan was functional and responds on demand.

**Dryer Vent: Dryer Vent Discharges**

Vents Up and Out

Location the dryer vent discharges to.

**Cabinets/Drawers/Shelves: Cabinets/Drawers/Shelves etc**  
Cabinets**Laundry Room / View: Location & Picture**

Stand Alone Room

Location of laundry room.

**Washing Machine & Dryer: Not Tested / Washing Machine & Dryer**

Any washing machines and/or dryers present were not evaluated as part of this inspection service. We do not turn them on or test any cycles. We do not disconnect washing machines supply lines to check for leaking. We recommend asking the seller about their condition and evaluating these appliances yourself and/or having a qualified contractor further evaluate them as you feel necessary.

**Washing Machine Valves & Connectors: Washer Connected / Satisfactory**

The washing machine valves and connectors appear functional but were not tested. No leaking was noted. However, because they are not in daily use they typically become stiff or frozen.

**Washing Machine Valves & Connectors: Metal Braided Hose Recommendation**

The water supply to washing machines is commonly left on, and the rubber hoses that are commonly used to supply water to them often become stressed and can leak or burst. For this reason we recommend replacing all washing machine rubber supply hoses with metal-braided ones that are more resilient.

**Doors: Satisfactory**

The door(s) in the laundry room are functional and in satisfactory condition, unless otherwise specifically noted.

**Flooring: Satisfactory**

The visible floor in the laundry room is in satisfactory condition unless otherwise specifically noted.

**Walls and Ceiling: Satisfactory**

The visible walls and ceilings in the laundry room are in acceptable condition, unless otherwise noted.

**Outlets / Electrical: Outlets / Satisfactory**

The accessible outlets in the laundry room are functional and grounded, unless otherwise noted.

**220 Volt Receptacle: In Use / Power Verified**

The 220 volt receptacle for the dryer is in use and power supply was verified at the outlet. I recommend you should evaluate this outlet style to be sure the dryer you plan on using here is compatible with it.

**Dryer Vent: Dryer Vent / Satisfactory**

The visible dryer vent connection appears correct. NOTE: Faulty dryer vents have been responsible for thousands of fires, hundreds of injuries, and even deaths. The best vents are a smooth-walled metal type that travels a short distance; all other types should be regarded as suspect, and should be inspected bi-annually to ensure that they do not contain trapped lint or moisture. We do not evaluate the interior condition of dryer exhaust vents.

## 9: PLUMBING

### Information

#### City Water Meter: City Water Meter Location

Front

Location of the city water meter.

#### House Water Shut-Off Valve / Supply & Type: Valve Type

Functional, Ball Valve

Type of main water supply shut-off valve located at the property.

#### Water Supply Pressure: Water Supply Pressure / Picture

35-40 psi

#### Water Supply Pressure: Water Pressure Reducer / As Noted

Water Pressure Reducer Noted

#### Interior Supply Plumbing Type

Copper

Interior supply plumbing type as visible.

#### Functional Water Flow

Functional Water Flow Was Noted

#### Waste and Vent Piping Systems: Waste System Type

City Sewer System

#### Waste and Vent Piping Systems: Type Of Material

ABS / Acrylonitrile Butadiene Styrene

Visible type of above ground waste system plumbing.

#### Waste and Vent Piping Systems: Clean Out Location / Picture

Wall Cleanouts, Front Yard

Location of the plumbing drain clean outs.

#### General Gas Components: Picture

Picture of gas main/meter.



#### General Gas Components: Main Observations

Gas was on

The gas main/meter supply is either on or off as noted.

#### General Gas Components: Main Shut-Off Location

Side Yard

#### General Gas Components: Gas Piping Type - Visible Only

Painted/Treated Steel

Type of visible above ground gas pipe.

#### Gas Hot Water Heater: Location

Garage

Garage

#### Gas Hot Water Heater: Year Built

2021

#### Gas Hot Water Heater: Capacity / Gallons

40

#### Gas Hot Water Heater: Fuel Source Type

Electric, Natural Gas

#### Gas Hot Water Heater: Thermal Expansion Tank

None

#### Recirculating Pump: Location

Garage

#### Hose Bibs: Type

Anti-Siphon Valves Noted

#### Irrigation: Irrigation Backflow Preventer

Present

There is a back flow preventer in place on the irrigation system.

**Soft Water System: Soft Water****System / Location**

Garage

**Standard Plumbing Comments: Owner Responsibility**

Please note where the water shut-off valves are for this property. **It's your responsibility** as the owner to be aware of the main water shut off valve for the property, the city water or well water shut off location (as applicable) and any individual shut off locations under sinks and toilets. Knowing these locations can significantly reduce the amount of issues you have when a leak occurs.

**Standard Plumbing Comments: NO SEWER SCOPE / Underground Drain Line Comment**

**NOTE: The underground sewer and/or drain lines were NOT video scanned or otherwise visually evaluated as part of this home inspection service. Underground pipes and pipes within walls, floors and ceilings are considered outside the scope of a home inspection. These drain lines were tested for functional drainage by running water in sinks, tubs, showers and toilets etc. It is very common and typical for property drain lines to have tree and plant roots in them or to become cracked, settled or otherwise damaged over time. They can also be previously damaged but not noticed as part of a typical home inspection. These drain pipes can also consist of older material that is no longer in use (cast iron, Orangeburg, etc). Further evaluation of these drain lines is highly recommended by contacting a qualified contractor or plumber who can complete this for you, within the inspection period or at least before you close or take possession of the property.**

**City Water Meter: City Water Meter-Picture**

Southwest



Southwest



Video  
(click here to view on web)

**City Water Meter: City Water Meter / Satisfactory**

The street or city water meter was observed for a short while, while no water was running on the property. The meter or dial was not spinning or moving, or the digital display reads 0.00. This is a good indication of no water leaking underground between the water meter and residence. However, this is not an exact determination and further evaluation may be necessary if you desire more detailed information or are concerned about the possibility of an underground water leak. Following up with the water company is a good idea so you are aware of potential normal water usage at this residence. I recommend getting an emergency water or plumbers key from a hardware store in case of emergency so you can easy shut off this meter if needed.

**House Water Shut-Off Valve / Supply & Type: Valve Location**

Left Side

These valves appear to be in satisfactory and functional condition, unless noted otherwise.

**House Water Shut-Off Valve / Supply & Type: Visible Exterior Plumbing Type**

Exterior House Wall

Copper

Visible above ground supply plumbing type at the exterior house water main connection only.

**Water Supply Pressure: Functional Water Flow**

Functional Water Flow Was Noted

**Satisfactory / Functional Flow**

The water supply plumbing lines for this residence appear to be in satisfactory condition, where visible. Functional water flow was verified. Unless otherwise indicated.

**Waste and Vent Piping Systems: General Comments / Sewer Lines & Drain Lines**

I attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line by a qualified contractor would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

NOTE: The underground sewer or drain lines were not video scanned or otherwise visually evaluated as part of this home inspection service. They are considered outside the scope of a home inspection. These drain lines were tested for functional drainage by running water in sinks, tubs, showers and toilets only. If you require further evaluation of these drain lines, I recommend contacting a qualified contractor or plumber who can complete this for you.

**Waste and Vent Piping Systems: Drainpipes / Functional Drainage Noted**

Residence

Based on industry recommended water tests, the drainpipes are functional and acceptable at this time and functional drainage was noted. Bathtubs, showers sinks etc were drained during the inspection to check for drainage issues, including visible leaks. Any noted issues with drainage will be otherwise noted.

### Waste and Vent Piping Systems: Sewer Scope Comment

Having your sewer lines evaluated is an important aspect to consider as part of any property purchase; regardless of its age. You should know that sewer line inspection IS NOT mandatory or required as part of any property purchase. We can recommend a few companies for you to contact and ask for more information and pricing.

What is a sewer scope inspection? A sewer scope inspection uses a video camera attached to a snake-like cable to examine the property or home's main lateral sewer line. This privately-owned pipeline leads from the house to the publicly owned main sewer line or septic tank. Sewer scope inspection might reveal issues such as: damage or separation to the pipes, root intrusion, blockages, build up, types of pipe and other problems. It also can spot potential problem areas before they develop into serious issues or hazards. After the inspection, clients will receive a report from the sewer scope company with their findings and recommendations. This allows homeowners, home buyers, and home sellers to act before any potential damage, health issues, or expensive repairs arise. If you did not choose to have a sewer line scope inspection as part of this property purchase, you should consider it. Please talk with your Realtor for more information.



Potential Sewer Scope Issues

### General Gas Components: Disclaimer

The inspector does not pressure test the gas pipe system. We recommend having the gas system evaluated and pressure tested if it is older than 20 years. Additionally, it is recommended to have the Gas Company inspect the gas system for any issues which are not normally part of a home inspection such as gas leaks. The gas company does a "code inspection" and this inspection focuses on functionality and obvious safety issues.

### General Gas Components: Supply Pipes and Supports / Satisfactory

The visible portions of the gas pipes and their supports appear to be in acceptable condition.

### Gas Hot Water Heater: Picture of Unit & Data Plate



### Gas Hot Water Heater: Hot Water Temperature Noted

116 - 120, 121 - 125

The residence hot water heater water temperature was noted as satisfactory during the home inspection. Hot water temperature supply was verified at all sinks, tubs, showers etc; unless otherwise noted. The hot water temperature is recommended to be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees Fahrenheit to prevent scalding. Hot water temperature can also be raised or lowered as desired at the water heater.



**Gas Hot Water Heater: Manufacturer**

Bradford White

I recommend flushing and servicing your water heater tank annually for optimal performance. Contacting a qualified contractor for more detailed information is also recommended, as you feel necessary.

**Gas Hot Water Heater: Water Shut-Off Valve Condition**

Satisfactory

The shut-off valve on a water heater should be functional and move freely and easily to turn off water supply if necessary.

**Gas Hot Water Heater: Water Connectors Condition**

Satisfactory

The water supply connectors on a water heater should be free of any mineral build up and have no signs of leaking.

**Gas Hot Water Heater: TPR Relief Valve & Discharge Pipe Condition**

Satisfactory

The water heater should be equipped with a mandated pressure-temperature relief valve and acceptable discharge pipe to the exterior.

**Gas Hot Water Heater: Drain Valve Condition**

Satisfactory

The drain valve is in place and presumed to be functional. I did not test it as part of this inspection service.

**Gas Hot Water Heater: Gas Shut-Off Valve/Connector Condition**

Satisfactory

The water heater gas control valve and its connector at the water heater were not moved but appear functional, unless noted otherwise.

**Gas Hot Water Heater: Gas Exhaust Vent Condition**

Needs Service

The gas water heater vent/flue appears to be in good condition and is securely fastened in place. It meets proper clearances at the time of the inspection; unless otherwise noted. We recommend adding aluminum type tap on the joints.

**Gas Hot Water Heater: Gas Water Heater Combustion Ventilation**

Satisfactory

Is there adequate combustion air ventilation for the gas water heater? Supply air vents in the garage, storage closet, etc.

**Gas Hot Water Heater: Gas Water Heater on Raised Pedestal?**

Yes

The gas water heater should be on a raised 18 inch pedestal to help separate the pilot light from a potential gas leak.

**Gas Hot Water Heater: Drain Pan & Discharge Pipe**

Drain Pan & Drain Pipe in Place

Water heaters are recommended to be equipped with a drain pan and discharge pipe to the exterior, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak.

**Gas Hot Water Heater: Concrete Bollard or Post in Place**

Not Present

Presence of a concrete or solid bollard or post to prevent accidental contact with the water heater.

### Gas Hot Water Heater: Concrete post

Recommend the installation of a floor mounted concrete metal post in order to protect the gas lines on the hot water heater. Consultant license contractor.

### Recirculating Pump: Not Evaluated

The residence has a circulating system, or hot water loop, that I did not evaluate. However, the components of circulating systems have a shorter design-life than many other components, because their pumps often run continuously and because the abrasive action of moving water causes leaks, and particularly at fittings where the flow changes directions.

### Hose Bibs: Satisfactory

The property hose bibs that were visible and accessible are functional, unless otherwise noted. All hose bibs on the property may not have been located and tested during the inspection. Hose bibs are recommended to have anti-siphon valves installed. These are relatively inexpensive valves and are required by current standards.

### Irrigation: General Comments

Irrigation systems and their components are considered outside the scope of home inspections per the Arizona Standards of Professional Practice for Home Inspectors. However, we believe it is in the best interest of our clients to provide a brief overview of them and to test them as we feel necessary for basic operation. Please contact a qualified contractor for more detailed information before you take possession of the property and if you have any concerns with the irrigation system.

There are a wide variety of irrigation components, such as pipes that could include old galvanized ones, more dependable copper ones, and modern polyvinyl ones that are commonly referred to as PVC. The quality can range and it is not uncommon to find a mixture of them. To complicate matters, significant portions of these pipes cannot be examined because they are buried. Therefore, we identify a system based on what type of pipe that can be seen. This inspection only includes the visible portions of the system, and we do not test each component, nor search below vegetation for any concealed hose bibs, actuators, risers, or drip heads. Because the actuators are under pressure, we look for any evidence of damage or leakage, but recommend that you have the sellers demonstrate any automatic sprinkler system before the close of escrow and indicate any seasonal changes that they may make to the program. Further review from a qualified landscape professional may be required and is recommended for further review before the close of escrow.

### Irrigation: Type / Pictures

Drip System

Type of irrigation and pictures of the irrigation valves and related components.

### Soft Water System: Picture



### Reverse Osmosis System: Not Evaluated

Kitchen

Water treatment systems such as reverse osmosis water systems and water filters were not evaluated during this inspection. They were viewed for obvious signs of leaking and damage only. I recommend contacting the manufacturer or a qualified contractor for more information, demonstration or further review.

### Reverse Osmosis System: Faucet Responds

The reverse osmosis system faucet responds on demand and is functional.

### Fire Suppression System: Location

Interior



### Fire Suppression System: Comment / Onsite

The residence is equipped with fire sprinklers, which I am not qualified to evaluate and specifically disclaim in our contract. These systems require annual maintenance and upkeep just like any other plumbing system will. Typical and acceptable fire sprinkler system water pressure is 50 psi to 150 psi. Therefore, you are recommended to have the system properly evaluated by a qualified fire sprinkler contractor or the local fire department as necessary and certified as being functional as an important fire safety feature. However, there were no signs of active leaking noted.

## Limitations

Gas Hot Water Heater

### ADD A SEDIMENT TRAP

The gas supply line for this water heater does not include a drip loop, drip leg or sediment trap. One of these items is currently recommended to be added as a modern safety feature. Further evaluation is recommended from a qualified contractor to determine the level of service necessary.

## Observations

9.4.1 Water Supply Pressure

Unsatisfactory Item

### PRESSURE REDUCER WATER PRESSURE TOO LOW

Adjust the water pressure on the pressure reduce in valve in order to increase it to a minimum of 45 to 60 psi. Consult a licensed plumber for further evaluation and repairs. The water pressure is currently 38 psi.

Recommendation

Contact a qualified professional.



9.5.1 Waste and Vent Piping Systems

Unsatisfactory Item

### CLEANOUT ELEVATION

Lower the elevation on the front yard located clean out ports in order to avoid a possible trip hazard. Consult builder.

Recommendation

Contact a qualified professional.



9.6.1 General Gas Components

**OLD AND WORN GAS METER**

Recommend replacing the existing gas meter on the side of the home. It appears to be worn, rusted and old and the valves would be hard to shut off in the event of an emergency. Contact the local gas utility company for further evaluation. Contact a licensed plumber.

 Unsatisfactory Item

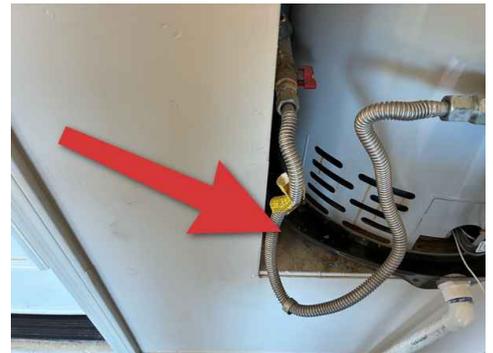


9.7.1 Gas Hot Water Heater

**SEDIMENT TRAP**

The gas supply line for this water heater does not include a drip loop, drip leg or sediment trap. One of these items is currently recommended to be added as a modern safety feature. Further evaluation is recommended from a qualified contractor to determine the level of service necessary.

 Unsatisfactory Item



Recommendation

Contact a qualified professional.

9.7.2 Gas Hot Water Heater

**PLASTIC DRIP PAN**

A plastic drain pan was noticed underneath the gas, hot water heater.

Recommend replacing with a metal type drip pan.

A plastic pan beneath a gas fired water heater shall be constructed of material having a flame spread index of 25 or less and a smoke develop index at 450 or less when tested in accordance with ASTM E84 or UL 723. Consult a licensed plumber for further evaluation.

 Unsatisfactory Item



9.10.1 Irrigation

**CORRODED BACK-FLOW PREVENTOR**

YARD

 Unsatisfactory Item

There is a corroded or mineral encrusted vacuum breaker or backflow preventer on a shut off valve on the property irrigation system. This indicates a previous leak issue that needs evaluation and service as determined necessary from a qualified contractor.

Recommendation

Contact a qualified professional.



# 10: MAIN ELECTRICAL PANEL

## Information

### Panel Size & Location: Location on House

Left Side

### Panel Size & Location: Manufacturer

General Electric (GE)

### Main Panel Observations: Condition

Main Panel  
Satisfactory



### Breakers / Fuses: Type Noted

Main Panel  
Breakers



### Service Conductor: Type

Copper Wire, Bus Bar

Type of service conductor material.

### Service Conductor: Satisfactory Comment

The service conductor appears to be in satisfactory condition.

### Wiring Observations: Visible Branch Wiring / Type / Picture

Copper, Aluminum

### Wiring Observations: Aluminum Wiring / Larger Circuits

Electrical Breaker Panel  
A/C Unit(s), Cooktop, Oven, Dryer  
Breakers with larger or thicker aluminum wiring noted.

### Panel Cover Observations: Panel Cover Type

Main Panel  
Exterior Cover, Interior Cover

### Panel Size & Location: Picture / Manufacturer Label



### Panel Size & Location: Panel Amperage as Noted On Label

200 Amp; 120/240 Volt

Service size as noted per manufacturer label if visible. Specialized testing equipment was not used to verify this.

**Panel Size & Location: Amperage of Installed Main Breaker Disconnect**

200 Amp; 120/240 Volt

Size of the visible installed main breaker. Specialized testing equipment was not used to verify this.

**Main Panel Observations: Satisfactory**

The main electrical breaker panel and its components have no visible deficiencies, unless otherwise specifically noted.

**Main Panel Observations: Low Voltage Components / Not Evaluated**

Any low voltage components in this residence were not evaluated as part of the inspection. Such as media centers, any low voltage components, wall jacks, wiring for speakers, cable, alarm & security systems, internet, projectors and video equipment etc. I recommend contacting a qualified contractor for more detailed evaluation as you feel necessary.

**Service Entrance: Service Entrance Type**

Underground/Lateral

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code [NEC] is not retroactive, and therefore many residential systems do not comply with the latest safety standards. For example, many homes built during and before the 1970's may have aluminum wiring including in the house electrical system. Aluminum wiring during this time has been known to cause problems. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. It would be prudent to have a qualified electrician evaluate the entire electrical system in your home if it was built in or before the 1970's. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. However, we typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years, beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993, and all kitchen countertop outlets with the exception of refrigerator and freezer outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. However, inasmuch as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

**Service Entrance: Underground / Satisfactory**

The main conductor lines are underground or lateral service and in satisfactory condition. This is a characteristic of modern electrical services, but because the service lines are underground, and cannot be seen, they are not evaluated as part of this inspection service. I recommend contacting a qualified contractor for more detailed information or as you feel necessary.

**Breakers / Fuses: Breakers Satisfactory Comment**

There are no visible deficiencies with the circuit breakers. Unless otherwise noted.

**Wiring Observations: Satisfactory Comment**

The visible electrical wiring appears to be in satisfactory condition, unless otherwise noted.

**Panel Cover Observations: Exterior Cover / Acceptable**

The exterior panel cover is in acceptable condition, unless specifically noted otherwise.

**Panel Cover Observations: Interior Cover / Acceptable**

The interior panel cover is in acceptable condition, unless specifically noted otherwise.

**Grounding: Satisfactory Comment**

The main panel grounding connection was observed and appears to be in satisfactory condition at the time of the inspection.

**Grounding: Grounding Location**

Gas Main Meter, Main Hose Bib



# 11: HVAC SYSTEMS

## Information

<b>HVAC System Info: HVAC System / Type</b> Gas Split System(s) Type of HVAC system(s) located onsite.	<b>HVAC System Info: Number of HVAC Systems Onsite</b> 2 Number of HVAC systems onsite during the inspection.	<b>HVAC System Info: HVAC Component(s) Location</b> Condensing Coil(s) Outside On Ground, Air Handler/Furnace(s) In Attic
<b>HVAC System Info: HVAC System Service Location</b> Main Residence	<b>Air Handler-Furnace Age/Data/Comments: Year Built</b> 2019	<b>Air Handler-Furnace Age/Data/Comments: HVAC Manufacturer / Brand</b> Trane
<b>Condensing Coils Age/Data/Comments: Year Built</b> 2022	<b>Condensing Coils Age/Data/Comments: Total HVAC Tons Onsite</b> 4.0 Tons	<b>Condensing Coils Age/Data/Comments: HVAC Manufacturer / Brand</b> Trane
<b>Fuel Source: Type</b> Gas/Electric	<b>Return-Air Compartment / Filter: Filter Locations</b> Hallway Ceiling Location of the return air vents.	<b>Return-Air Compartment / Filter: Filter Condition</b> Satisfactory
<b>Return-Air Compartment / Filter: Air Filters Visible?</b> Filter Visible in Return	<b>Cooling Temperature Readings: Cooling Source Present in Each Room</b> Yes Cooling source presence in each liveable room.	<b>Heating Temperature Readings: Heat Source Present in Each Room</b> Yes Heat source presence in each liveable room.
<b>Drip Pan: Condition</b> Visible	<b>Condensate Drainpipes: Drainpipes / Satisfactory</b> The condensate drainpipe(s) discharge correctly, as noted.	<b>Condensate Drainpipes: Drains To:</b> Outside Residence The condensate drain pipe(s) properly discharge at the noted location.
<b>Gas Valve &amp; Connector: Condition</b> Visible	<b>Gas Vent Pipe and Cap: Condition</b> Visible	<b>Gas Combustion-Air Vents: Condition</b> Not Visible, None Noted
<b>Ducting: Type</b> Both Flexible and Metal Ducting Visible	<b>Registers: Satisfactory</b> The air supply registers are functional and reasonably clean.	<b>Registers: Location</b> Wall, Ceiling HVAC air supply register locations.

### HVAC Comments: General Comment

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their approximate age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that ***we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers.*** We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, or within the inspection period if possible, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee. ***Having the heating and cooling system fully evaluated by a qualified HVAC contractor, especially before you take possession of this property, and at least annually is recommended, regardless of its condition, because we rely heavily on these systems during the warmer months and summer months in Arizona.***

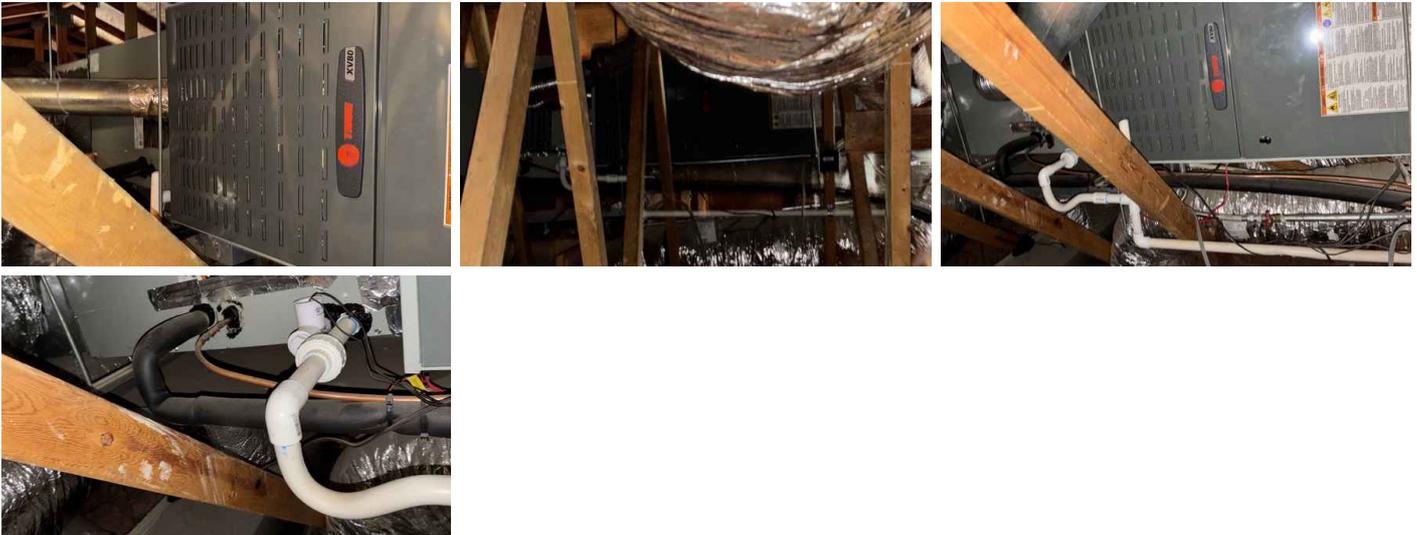
### HVAC Comments: Cooling and Heating Verified in Each Room

Cooling and heating presence was verified as noted in each room of this residence, unless otherwise noted.

### HVAC Comments: Further HVAC Review Is Recommended

NOTE: Further review of the heating and cooling system is recommended from a qualified HVAC contractor for more detailed information, regardless of the HVAC system condition during the inspection. This further review is important because we rely on these units almost non-stop in the hot summer months and very often in the warmer months before and after the summer. It is also critical to have the entire HVAC system evaluated, before you take possession of the property, if it has not been used for an extended period of time (such as an unoccupied or vacant property) or if they appear to be in disrepair and in need of service. Review from a qualified HVAC contractor or HVAC specialist is recommended to overview the system and check it for possible repairs, service or upgrades that are beyond the scope of this generalist home inspection.

### Air Handler-Furnace Age/Data/Comments: Picture and Data Plates (ALL)



### Condensing Coils Age/Data/Comments: Picture and Data Plates (ALL)



**Condensing Coils Age/Data/Comments: Satisfactory**

The condensing coil(s) respond to the thermostat and are functional, unless otherwise specifically noted.

**Fuel Source: Gas Heat / Electric Cooling**

The fuel supply source onsite for the HVAC system(s) includes gas heat and electric cooling.

**Refrigerant Type: Refrigerant Type**

HVAC

R-410A

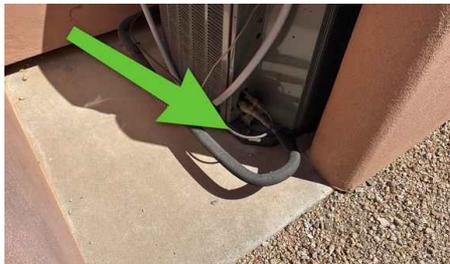
Refrigerant type as visible or as noted on the HVAC manufacturer label. Further evaluation may be necessary from a qualified contractor to accurately verify this.

**Refrigerant Type: R410A Comment**

R-410A is a chlorine-free refrigerant that meets the U.S. EPA's newest, most stringent environmental guidelines. R-410A was developed as an alternative to R-22 (Freon), which has been phased out as of 2020, in response to environmental concerns. It contains no chlorine, so it's not damaging to the atmosphere's ozone layer. As an added benefit, laboratory analysis and independent testing have shown that R-410A allows higher heat transfer than R-22, resulting in more efficient operation.

**Refrigerant Lines: Condition**

Visible



West



East

**Refrigerant Lines: Satisfactory**

The visible refrigerant lines are in acceptable condition and foam wrapped where viewed, unless otherwise noted.

**Condensing Coil Disconnect: Disconnect / Type**

Pull Out

Type of disconnect noted.



**Condensing Coil Disconnect: Not Tested**

The electrical disconnect(s) at the condensing coils are present and appear functional; however they were not activated or tested at the time of inspection.

**Thermostats: Satisfactory**

The thermostat(s) were functional and respond to their controls at the time of the inspection.

**Thermostats: Location**

Hallway

Thermostats were noted in these locations.



**Thermostats: Visible Wiring**

Not Visible

Condition of the visible HVAC system thermostat wiring inside the property and at any exterior HVAC components (ground level, roof etc.)

**Cooling Temperature Readings: Air Return Temperatures / As Noted**

Air Return

65

Air return temperatures in degrees Fahrenheit for this residence were as noted.



**Cooling Temperature Readings: Air Supply Temperatures / As Noted**

Air Supply Registers

40, 44

Air supply temperatures in degrees Fahrenheit for this residence were as noted.



**Heating Temperature Readings: Air Return Temperatures / As Noted**

Air Return

See Below

Air return temperatures in degrees Fahrenheit for this residence were as noted.

## Heating Temperature Readings: Air Supply Temperatures / As Noted

Air Supply Registers

116-120

Air supply temperatures in degrees Fahrenheit for this residence were as noted.

## Drip Pan: Satisfactory / One

The drip pan is acceptable. There was no moisture noted in the pan at the time of inspection.

## Gas Automatic Safety Controls: Gas Safety Control Comments

A thermocouple is a safety device on gas furnaces that shuts off the gas supply if the pilot light goes out or if the electric igniter fails.

A limit switch is a safety control located on the furnace. If specific components get too hot, the limit switch shuts off the burner. It also shuts off the blower when the temperature drops to a certain level after the burner has shut off.

## Gas Automatic Safety Controls: Thermocouple and Limit Switch

The thermocouple and limit switch appear to be present and in satisfactory condition.

## Gas Valve & Connector: Satisfactory

The gas valve(s) and connector(s) are in acceptable, visible condition unless specifically noted otherwise. However the valves itself were not turned or operated.

## Gas Vent Pipe and Cap: Satisfactory

The gas furnace vent pipes and caps (if installed) are in acceptable condition and should work as intended, unless otherwise specifically noted. As a reminder, I do not test for gas leaks or combustion by-product fume leaks such as carbon monoxide.

## Limitations

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Registers

### PROFESSIONALLY CLEAN DUCTWORK

You should consider having the ductwork professionally cleaned. As a reminder, we do not test the air quality as part of this inspection process.

## Observations

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11.4.1 Condensing Coils Age/Data/Comments



Unsatisfactory Item

### DEBRIS WITHIN UNITS

There is tree debris buildup within and around the exterior HVAC east side unit. I recommend having the debris cleaned out and the unit serviced as determined necessary by a qualified HVAC contractor. Recommend removing the tree above the unit.

Recommendation

Contact a qualified professional.



11.8.1 Condensing Coil Disconnect

**LOOSE ON WALL**

HVAC SYSTEM

The exterior disconnect is loose on the wall. I recommend service as necessary from a qualified contractor. Service is important to help prevent possible damage to the disconnect or it's wiring.

Recommendation

Contact a qualified professional.

 Unsatisfactory Item



Southwest

11.12.1 Heating Temperature Readings

**NO RESPONSE**

The heat supply did not respond when tested at the thermostat. I recommend further evaluation from a qualified HVAC contractor for more detailed information and service as determined necessary.

Recommendation

Contact a qualified professional.

 Unsatisfactory Item



11.12.2 Heating Temperature Readings

**GAS OFF / UNABLE TO TEST**

HVAC SYSTEM

The gas supply to this residence was locked off at the main gas meter during the inspection. I was unable to test the gas furnace as necessary. I recommend having this further evaluated by a qualified contractor for more detailed information and any service as determined necessary.

Recommendation

Contact a qualified professional.

 Unsatisfactory Item



East Furnace

11.18.1 Gas Combustion-Air Vents

**NO AIR VENTS / GARAGE**

HVAC SYSTEM

 Unsatisfactory Item

There are no combustion-air vents within the garage to support the combustion process, which is essential to help ensure the circulating air does not become contaminated by carbon monoxide. This negative condition should be evaluated and corrected as necessary and as soon as possible by a qualified contractor.

Recommendation

Contact a qualified HVAC professional.



For a sample purposes only

# 12: FIREPLACES

## Information

**Fireplace Type & General Comments: Location & Pictures**  
Family Room



**Chimney Walls: Satisfactory**  
The chimney walls appear to be in satisfactory condition.

**Weather Cap-Spark Arrestor: Satisfactory**  
The chimney(s) have a functional weather cap/spark arrestor.

**Damper: Condition**  
Visible

**Screen / Glass Doors: Fireplace Screen / Satisfactory**  
The fireplace screen is in satisfactory condition and functional.

**Hearth: Type**  
Tile

**Fireplace Interior: Satisfactory**

The fireplace interior area appears to be in satisfactory condition, unless otherwise specifically noted.

**Fireplace Type & General Comments: Fuel Type**  
Natural Gas

**Chimney Flashings: Condition**  
Visible

**Crown or Termination Cap: Condition**  
Visible



**Damper: Functional**  
The damper(s) are functional

**Mantle: Type**  
Tile

**Hearth: Satisfactory**  
The hearth is in satisfactory condition.

**Fireplace Interior: Condition**  
Visible/Satisfactory

**Weather Cap-Spark Arrestor: Condition**  
Visible

**Chimney Flue: Condition**  
Not Visible

**Screen / Glass Doors: Fireplace Screen or Door**  
Openable Doors, Screen

**Mantle: Satisfactory**  
The fireplace mantle is in satisfactory condition.

### Chimney Walls: Condition

Visible



### Chimney Flashings: Satisfactory

The chimney flashings appear to be in acceptable condition, unless specifically noted otherwise.

### Crown or Termination Cap: Satisfactory

The crown appears to be in satisfactory condition. It is designed to seal the chimney wall and shed rainwater to prevent moisture from deteriorating the chimney.

### Chimney Flue: Interior / Not Visible

A complete view of the chimney flue, specifically interior areas, is not possible. You should consider having it evaluated further by a qualified contractor for more detailed information before the fireplace is used.

## Observations

12.1.1 Fireplace Type & General Comments

### FIREPLACE NO RESPONSE

Repair the fireplace since it did not respond to the wall mounted activating switch at the time of the inspection. Consult a fireplace technician or a licensed plumber for further evaluation.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



12.1.2 Fireplace Type & General Comments

### REPLACE MISSING GAS KEY

Install an emergency shut off key operated shut off valve outside of the fireplace. Consult a licensed plumber.



Unsatisfactory Item



# 13: INDOOR ENVIRONMENTAL

## Information

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### **Environmental Observations: Air Quality Not Evaluated**

I do not test for mold or measure indoor air quality, which the Consumer Product Safety Commission ranks fifth among potential contaminants. A person's health is a truly personal responsibility, and because I do not inspect for mold or test for other environmental contaminants I recommend that you should schedule an appropriate inspection by an environmental hygienist before you take possession of this property. This would be imperative if you or any member of your family suffers from allergies or asthma, and could require the sanitizing of air ducts and other concealed areas. Note: Mold cannot exist without moisture. Therefore, any moisture whatsoever, whether it be from inadequate grading and drainage, a leaking roof, window, or door, or moisture from a faulty exhaust vent, a condensate pipe, an evaporator coil, or a component of a plumbing system etc should be serviced immediately, or the potential for mold infestation will remain.

### **Environmental Observations: Insects and Other Pests**

Vermin, insects and other pests such as: crickets, spiders, scorpions, pigeons, termites, mice/rats etc. are part of the natural habitat and they often invade homes. Many of these pests can get into a home through the smallest of areas that are likely not visible or very difficult to locate. Rats and mice have collapsible rib-cages and many pests can enter even the tiniest crevices. And it is not uncommon for pests to establish colonies within crawlspaces, attic, closets, and even inside walls, where they can breed and become a health threat. Therefore, it would be prudent to make sure that a home is rodent, insect and pest proof, and to monitor those areas that are not readily accessible. This inspection does not include an evaluation of any in wall, in ground or onsite pest control or prevention systems. You should also consult a qualified pest control service for an evaluation of the property if you are concerned or for more information. This is recommended to be completed before the close of escrow and before the residence is occupied, especially if you are concerned or desire more information

### **Environmental Observations: Domestic Animals**

Domestic animals living within a residence can have an adverse affect on air quality etc. Their presence may require extensive cleaning of walls, floors, air ducts etc. You should evaluate this property regarding previous or current domestic animals and service as you feel necessary.

# 14: HOME INTERIOR / LIVING AREAS

## Information

### Living Space Room Pictures: Main Entry View

View of the main entry area.



### Living Space Room Pictures: Dining Room View

View of the dining room area.



### Flooring: Type

Tile

### Lights / Wall Switches: Lights / Type

Ceiling Lights

Type of room lighting noted.

### Smoke & CO Detectors: Smoke Detectors

Smoke Detector

Presence of smoke detectors onsite during the inspection.

### Living Space Room Pictures: Family Room View

View of the family room area.

### Doors: Condition/Type

Works on Demand

### Windows: Windows / Type

Dual Pane

### Outlets / Electrical: Outlets / Type

Three Prong

Type of outlets noted.

### Smoke & CO Detectors: Carbon Monoxide Detectors

Present

Presence of carbon monoxide detectors during the home inspection.

### Living Space Room Pictures: Living Room View

View of the living room area.



### Walls and Ceiling: Type

Drywall

### Screens / Shutters / Blinds:

Condition

Satisfactory

### Ceiling Fan: Type

Wall Switch, Pull Chain

### General Interior Comments: Furnished

The property is furnished which limits or restricts a thorough evaluation of all wall and floor areas, windows, electrical outlets etc. In accordance with industry standards, I only inspect those surfaces that are exposed and readily accessible. I do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets. I strongly suggest you should come back to look over the property, once everything is moved out and all personal items have been removed. This will help give you a better evaluation of the overall property condition.

**General Interior Comments: Interior Areas Disclaimer**

Our inspection of interior spaces includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform. We recommend you should make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow or before you take possession of this property.

**General Interior Comments: Door Stops-General**

Any missing door stops throughout the home should be repaired or installed as you feel necessary.

**General Interior Comments: Smoke & CO Detectors Comment**

I recommend monitoring, replacing or adding smoke and carbon monoxide detectors as necessary, throughout this property, for safety reasons. Especially if gas appliances are present. Many times these units become worn, damaged or simply too old and may not work as intended.

**Doors: Satisfactory**

The interior door(s) in the living areas are functional and in satisfactory condition, unless otherwise specifically noted.

**Walls and Ceiling: Satisfactory**

The walls and ceilings in the livable areas are in acceptable condition, unless otherwise noted.

**Flooring: Satisfactory**

The visible floors in the living areas are in satisfactory condition, unless otherwise specifically noted.

**Windows: Satisfactory**

The windows in the livable rooms are in satisfactory and functional condition, unless otherwise noted.

**Screens / Shutters / Blinds: Screens Present**

The window screens in place on the window exterior areas, during the inspection, appear to be in satisfactory condition overall. Minor or relatively insignificant screen damage was not noted or documented. Also, window screens are not entirely or thoroughly evaluated because they are often removed for aesthetic or staging reasons. They are easily damaged and can be removed after our inspection, so I choose to disclaim them.

NOTE: The window screens located on the exterior of the residence windows have made a clear evaluation of the window condition difficult. I recommend viewing these windows again for yourself, once the screens are removed. These screens can restrict findings such as broken hermetic seals, cracks and other window damage.

**Screens / Shutters / Blinds: Blinds & Shutters Comment**

NOTE: We do not test or evaluate blinds, shutters or any other similar type window or door treatments, throughout this property. They were not evaluated as part of this inspection service. They are only briefly viewed or used for access to evaluate windows behind them, regardless if they are temporary or permanent. They also can restrict a clear view of window areas and are only operated so I can access any related windows or doors. I recommend you should view them and determine if you want them serviced as you feel necessary.

**Lights / Wall Switches: Wall Switches / Satisfactory**

The wall switches in the livable areas are functional and respond on demand.

**Lights / Wall Switches: Lights / Satisfactory**

The lights in the livable rooms and areas are satisfactory, unless specifically noted otherwise.

**Outlets / Electrical: Wall Outlets / Grounded / Satisfactory**

The wall outlets in the livable areas were functional and grounded, unless otherwise noted.

**Ceiling Fan: Satisfactory**

The ceiling fan(s) within the livable areas work or respond properly on demand, unless otherwise noted.

**Smoke & CO Detectors: Age Comment**

NOTE: Smoke and carbon monoxide detectors should be tested monthly and can fail at any time. They should be replaced at least every ten years or if they fail to respond or get damaged. We do not verify the age of smoke or carbon monoxide detectors as part of this inspection service. Replacing smoke and carbon monoxide detectors, regardless of their function, when moving into your new home is considered smart practice for fire safety reasons.

## Observations

14.9.1 Outlets / Electrical

**OUTLETS / LOOSE**

There is a loose outlet on the wall dining room wall and should be serviced for safety reasons.

Recommendation

Contact a qualified professional.



# 15: BEDROOMS

## Information

### View of Bedrooms: Guest Bedroom #1 View / Photos

View of a guest bedroom.



### View of Bedrooms: Guest Bedroom #2 View / Photos

View of a guest bedroom.



### Doors: Condition/Type

Works on Demand

### Windows: Type

Dual Pane

### Flooring: Type

Tile

### Walls and Ceiling: Type

Drywall

### Screens / Shutters / Blinds: Condition

Installed

### Closet: Condition

Satisfactory

### Ceiling Fans: Condition

Functional

### Lights / Wall Switches: Lights / Type

Ceiling Lights, Ceiling fans lights  
Type of lights noted.

### Outlets / Electrical: Type

Three Prong/Grounded  
Type of outlets noted.

### Smoke Detectors: Condition

Satisfactory

### View of Bedrooms: Master / Main Bedroom View / Photos

View of the master or main bedroom.



### Doors: Satisfactory

The door(s) in the bedrooms are functional and in satisfactory condition, unless otherwise specifically noted.

### Windows: Emergency Egress

Bedrooms

Yes

Status of the bedroom(s) emergency egress.

For determining egress window sizes and placement, the International Building Code holds that every bedroom must contain at least one egress window. It must be at least 5.7 square feet, that is at least 20 inches wide by 24 inches high, with an opening no higher than 44 inches from the floor.

**Windows: Satisfactory**

The windows in the bedrooms are in satisfactory and functional condition, unless otherwise noted.

**Flooring: Satisfactory**

The visible floors in the bedrooms are in satisfactory condition unless otherwise specifically noted.

**Walls and Ceiling: Satisfactory**

The walls and ceilings in the bedrooms are in acceptable condition, unless otherwise noted.

**Screens / Shutters / Blinds: Screens Present**

The window screens in place on the window exterior areas, during the inspection, appear to be in satisfactory condition overall. Minor or relatively insignificant screen damage was not noted or documented. Also, window screens are not entirely or thoroughly evaluated because they are often removed for aesthetic or staging reasons. They are easily damaged and can be removed after our inspection, so I choose to disclaim them.

**Screens / Shutters / Blinds: Blinds & Shutters Comment**

NOTE: We do not test or evaluate blinds, shutters or any other similar type window treatments, throughout this property. They were not evaluated as part of this inspection service. They are only briefly viewed for access to evaluate windows behind them, regardless if they are temporary or permanent. They also can restrict a clear view of window areas and are only operated so I can access any related windows or doors. I recommend you should view them and determine if you want them serviced as you feel necessary.

**Closet: Satisfactory**

The closets and interior closet space, in the bedrooms of this property, appear to be in satisfactory condition.

**Ceiling Fans: Satisfactory**

The ceiling fan(s) within the bedrooms work or respond properly on demand, unless otherwise noted.

**Lights / Wall Switches: Wall Switches / Functional**

The wall switches in the bedroom areas are functional and respond on demand.

**Outlets / Electrical: Outlets / Satisfactory**

The outlets in the bedrooms were functional and grounded, unless otherwise noted.

**Outlets / Electrical: Outlets / Access Blocked or Restricted**

I was unable to access all outlets in the bedrooms during the inspection due to furniture, storage or personal items. I recommend checking any of these outlets once access is available.

**Smoke Detectors: In Place / Satisfactory**

There are smoke detectors in place within the bedrooms of the residence. They responded when tested, unless otherwise noted. NOTE: Smoke detectors should be tested monthly and can fail at any time. They should be replaced at least every ten years or if they fail to respond.

# 16: MASTER OR MAIN BATHROOM

## Information

### Bathroom: Location & Picture

Master Bedroom

### Bathroom: Size

Full Bath

### Trap and Drain: Condition

Functional Drainage Noted

### Trap and Drain: P-Trap Installed

Satisfactory

Condition of the plumbing drain p-trap.

### Valves and Connectors: Type

Ball Valve

### Hydro-Spa: Picture of Tub Motor

Not Visible

### Toilet: Condition

Flushes on Demand

### Doors: Condition

Works on Demand

### Flooring: Type

Tile



### Walls and Ceiling: Type

Drywall

### Countertop: Type

Granite/Quartz/Marble

Type of kitchen countertop.

### Lights / Wall Switches: Wall Switches / Functional

The wall switches are functional and respond on demand.

### Lights / Wall Switches: Type / Lights

Ceiling Lights

Type of lighting installed.

### Outlets / Electrical: GFCI Outlets / Reset Location

This Bathroom

### Exhaust Fan: Condition

Works on Demand

### Exhaust Fan: Functional

The bathroom exhaust fan(s) are functional and respond on demand.

### Sink and Faucet: Water Flow Pictures

Works On Demand

Pictures of functional water flow at the residence bathroom sinks.



**Trap and Drain: Satisfactory Comment**

The bathroom traps and drains are functional. No leaking or issues were noted unless otherwise indicated.

**Valves and Connectors: Satisfactory Comment**

The valves and connectors below the bathroom sinks and toilet appear functional. Valves were not turned or tested, however no leaking was noted at the time of inspection, unless otherwise noted. Valves are not in daily use and will inevitably become stiff or frozen and need service or replacement.

**Tub/Shower: Tub/Shower Type & Water Flow Pictures**

Separate Stall Shower, Separate Tub

Type of tub and/or shower noted in this bathroom. Water flow pictures.

**Hydro-Spa: Condition**

Works on Demand

**Hydro-Spa: Satisfactory Comment**

The master bathroom hydro-spa tub is functional and the motor responds on demand. It should be flushed with a cleanser if not used frequently.

**Hydro-Spa: Grounding Connection Not Visible**

The grounding connection for the whirlpool tub motor was not visible during the inspection. I recommend having it verified before using this tub.

**Doors: Satisfactory Comment**

The doors in the bathrooms are functional and in satisfactory condition, unless otherwise specifically noted.

**Flooring: Satisfactory Comment**

The floors in the bathrooms are in satisfactory condition unless otherwise specifically noted.

**Walls and Ceiling: Satisfactory Comment**

The walls and ceilings in the bathroom are in acceptable condition, unless otherwise noted.

**Countertop: Satisfactory Comment**

The visible areas of the bathroom countertops are in satisfactory condition.

**Closet: Type**

Closet in Bathroom

**Closet: Satisfactory Comment**

The closets and interior closet space, in the bathroom, appear to be in satisfactory condition.

**Lights / Wall Switches: Lights / Satisfactory**

The lights in this bathroom are satisfactory, unless specifically noted otherwise.

**Outlets / Electrical: GFI Satisfactory**

Master Bathroom

The bathroom outlets are functional and include ground fault protection (GFI) that resets in the noted location(s),

## Observations

16.8.1 Doors

**DOES NOT HOLD CLOSED** Unsatisfactory Item

The master bathroom door does not latch shut and hold closed. I recommend service as you feel necessary.

Recommendation

Contact a qualified professional.



# 17: HALLWAY BATHROOM

## Information

### Bathroom: Size

Full Bath

### Sink and Faucet: Water Flow / Pictures

Hallway Bathroom

Works on Demand

Pictures of water flow during the inspection.



### Trap and Drain: Condition

Functional Drainage Noted

### Trap and Drain: P-Trap Installed

Satisfactory

Condition of the plumbing drain p-trap.

### Valves and Connectors: Type

Guest Bathroom

Gate Valve

### Toilet: Condition

Flushes on Demand



### Doors: Condition

Works on Demand

### Flooring: Type

Tile

### Windows: Type

Double Pane

### Walls and Ceiling: Type

Drywall

### Countertop: Type

Granite/Quartz/Marble

Type of kitchen countertop.

### Cabinets/Drawers/Shelves: Type

Cabinets

### Lights / Wall Switches: Wall Switches / Functional

The wall switches are functional and respond on demand.

### Outlets / Electrical: GFI Outlets / Reset Location

Master Bathroom

### Exhaust Fan: Condition

Functional

### Exhaust Fan: Functional

The bathroom exhaust fan(s) are functional and respond on demand.

**Bathroom: Location & Picture**

Hallway

**Sink and Faucet: Satisfactory Comment**

The sink and faucet were functional and in good condition, unless otherwise noted.

**Trap and Drain: Satisfactory Comment**

The bathroom traps and drains are functional. No leaking or issues were noted unless otherwise indicated.

**Valves and Connectors: Satisfactory Comment**

The valves and connectors below the bathroom sinks and toilet appear functional. Valves were not turned or tested, however no leaking was noted at the time of inspection, unless specifically noted otherwise. Valves are not in daily use and will inevitably become stiff or frozen and need service or replacement.

**Tub-Shower: Tub/Shower Type & Water Flow Pictures**

Tub &amp; Shower in One

Type of tub and/or shower noted in this bathroom. Water flow pictures.

**Toilet: Functional Comment**

The toilet is functional, flushes properly and no leaking was noted, unless otherwise specified.

**Doors: Satisfactory Comment**

The doors in this bathroom are functional and in satisfactory condition, unless otherwise specifically noted.

**Flooring: Satisfactory Comment**

The floors in the bathrooms are in satisfactory condition unless otherwise specifically noted.

**Windows: Satisfactory**

The windows in the bathroom are in satisfactory and functional condition, unless otherwise noted.

**Walls and Ceiling: Satisfactory Comment**

The walls and ceiling in the hallway bathroom are in acceptable condition, unless otherwise noted.

**Countertop: Satisfactory Comment**

The visible areas of the bathroom countertops are in satisfactory condition.

**Cabinets/Drawers/Shelves: Satisfactory / As Noted**

The bathroom cabinets, drawers and shelves, as applicable, are in satisfactory condition, unless otherwise specifically noted.

**Lights / Wall Switches: Type / Lights**

Ceiling Lights, Wall Lights

Type of lighting installed.

**Outlets / Electrical: GFI / Satisfactory**

Hallway Bathroom

The bathroom outlets are functional and include ground fault protection (GFI) that resets in the noted location(s),

# 18: SETTING REASONABLE EXPECTATIONS

## Information

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## Setting Reasonable Expectations

### **Setting Reasonable Expectations When Things Go Wrong**

There may come a time that you discover something wrong with your house, and you may be upset or disappointed with your home inspection.

#### **Intermittent Or Concealed Problems**

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the water supply. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

#### **No Clues**

These problems may have existed at the time of the inspection but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem or failure.

#### **We May Miss Some Minor Things**

Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$2,000 problems. These are the things that affect peoples decisions to purchase.

#### **Contractors Advice**

The main source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement when we said that, with some minor repairs, the roof will last a few more years.

#### **Last Man In Theory**

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the Last Man In Theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether the roof leak is his fault or not. Consequently, he won't want to do a minor repair with high liability when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

#### **Most Recent Advice Is Best**

There is more to the Last Man In Theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of First Man In and consequently it is our advice that is often disbelieved.

#### **Why Didn't We See It**

Contractors may say, "I cant believe you had this house inspected, and they didn't find this problem". There are several reasons for apparent oversights:

##### **1. Conditions During Inspection**

It is difficult for homeowners to remember the circumstances in the house, at the time of the inspection. Homeowners seldom remember that it was raining, there was storage everywhere in the basement or that the furnace could not be turned on because it was too hot out, etc. Its impossible for contractors to know what the circumstances were when the inspection was performed.

##### **2. The Wisdom Of Hindsight**

When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 inches of water on the floor. Predicting the problem is a different story.

### ***3. A Long Look***

If we spent 1/2 an hour under the kitchen sink or 45 minutes disassembling the furnace, we would probably find more problems too. Unfortunately, the inspection would take several days and would cost considerably more.

### ***4. We are Generalists***

We are generalists; we are not specialists. Example: An HVAC contractor is a specialist and will indeed have more knowledge and expertise on heating and cooling systems than we do.

### ***5. An Invasive Look***

Problems often become apparent when carpets or drywall/plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform any invasive or destructive tests.

### **Not Insurance**

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

### ***Home Inspections are NOT...***

- A protection against future failures.
- An appraisal that determines the value of a home.
- A code inspection, which verifies local building code compliance or the existence of permits for any improvements on the property.

We hope this is good food for thought. Please feel free to contact us with questions or concerns.

# 19: REPORT CONCLUSION

## Information

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### Report Conclusion

***Congratulations on the purchase of your new property! Since we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install and monitor smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems (if present) by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.***

***We are proud of our service and trust that you will be completely satisfied with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or manufacturers defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.***

***FURTHERMORE, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals roofers etc.***

***Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. I am always attempting to improve the quality of my service and this report, and I will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.***

# STANDARDS OF PRACTICE

## Inspection Details

### Foundation and Structure

**I. The inspector shall inspect:** A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

**IV. The inspector is not required to:** A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.

### Plumbing

I. The inspector shall inspect: A. the main water supply shut-off valve; B. the main fuel supply shut-off valve; C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing; D. interior water supply, including all fixtures and faucets, by running the water; E. all toilets for proper operation by flushing; F. all sinks, tubs and showers for functional drainage; G. the drain, waste and vent system; and H. drainage sump pumps with accessible floats. II. The inspector shall describe: A. whether the water supply is public or private based upon observed evidence; B. the location of the main water supply shut-off valve; C. the location of the main fuel supply shut-off valve; D. the location of any observed fuel-storage system; and E. the capacity of the water heating equipment, if labeled. III. The inspector shall report as in need of correction: A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; B. deficiencies in the installation of hot and cold water faucets; C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate. IV. The inspector is not required to: A. light or ignite pilot flames. B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater. C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems. D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. E. determine the water quality, potability or reliability of the water supply or source. F. open sealed plumbing access panels. G. inspect clothes washing machines or their connections. H. operate any valve. I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection. J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices. L. determine whether there are sufficient cleanouts for effective cleaning of drains. M. evaluate fuel storage tanks or supply systems. N. inspect wastewater treatment systems. O. inspect water treatment systems or water filters. P. inspect water storage tanks, pressure pumps, or bladder tanks. Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. R. evaluate or determine the adequacy of combustion air. S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves. T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation. U. determine the existence or condition of polybutylene plumbing. V. inspect or test for gas or fuel leaks, or indications thereof.

### Main Electrical Panel

**The inspector shall inspect:** A. the service drop; B. the overhead service conductors and attachment point; C. the service head, goose neck and drip loops; D. the service mast, service conduit and raceway; E. the electric meter and base; F. service-entrance conductors; G. the main service disconnect; H. panel boards and over-current protection devices (circuit breakers and fuses); I. service grounding and bonding; J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible; K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCI's using a GFCI tester, where possible; and L. smoke and carbon-monoxide detectors. II. The inspector shall describe: A. the main service disconnect's amperage rating, if labeled; and B. the type of wiring observed. III. The inspector shall report as in need of correction: A. deficiencies in the integrity of the service entrance conductors insulation, drip loop, and vertical clearances from grade and roofs; B. any unused circuit-breaker panel opening that was not filled; C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible; D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and E. the absence of smoke detectors. IV.

**The inspector is not required to:** A. insert any tool, probe or device into the main panel board, sub-panels, distribution panel boards, or electrical fixtures. B. operate electrical systems that are shut down. C. remove panel board cabinet covers or dead fronts. D. operate or re-set over-current protection devices or overload devices. E. operate or test smoke or carbon-monoxide detectors or alarms F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems. G. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled. H. inspect ancillary wiring or remote-control devices. I. activate any electrical systems or branch circuits that are not energized. J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices. K. verify the service ground. L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. M. inspect spark or lightning arrestors. N. inspect or test de-icing equipment. O. conduct voltage-drop calculations. P. determine the accuracy of labeling. Q. inspect exterior lighting.

### **Home Interior / Living Areas**

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets, and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there is a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

### **Bedrooms**

Our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets, and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there is a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.